



**PLANNING ADVISORY/COMMITTEE OF ADJUSTMENT/
PROPERTY STANDARDS COMMITTEE AGENDA**

On December 9, 2025 @ 6:00 PM

In-Person in the Town Hall Council Chambers, 30 King Street East, Gananoque
(parking on-site via Garden Street)

and via Teleconference/Video Conference using information below:

Teleconference Toll Free Number – 1-833-311-4101, Access Code: 2868 653 3946

Video Conference Link: [Click Here](#)

| | | Attachment |
|----|--|------------|
| 1. | Call Meeting to Order | |
| 2. | Adoption of the Agenda | Motion |
| 3. | Disclosure of Pecuniary Interest & General Nature Thereof | |
| 4. | Approval of Minutes | |
| | <ul style="list-style-type: none">Minutes of October 28, 2025 | Motion |
| 5. | Public Question/Comments (only addressing items on the agenda) *Note: Members of the public are permitted to speak to <i>Planning Act</i> applications under Reports/New Business at the time of discussion. | |
| 6. | Unfinished Business – None | |
| 7. | Reports/New Business | |
| | DEVELOPMENT PERMIT APPLICATIONS | |
| | DP2025-18 295 Oak Street – Morelli – Class II Amendment | Motion |
| | DP2025-16 77 Pine Street – Hall – Class III Proposed Additions | Motion |
| | DP2025-13 145 River Street – Matthews – Class III (to be reviewed with OPA8-2025) | Motion |

The Town invites and encourages people with disabilities to attend and voice their comments in relation to accessibility related reports. For those who are unable to attend, the Town encourages the use of the Customer Feedback Form found on the Accessibility Page on the Town's website.

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| | OFFICIAL PLAN AMENDMENT | |
| | OPA8-25 - 145 River Street – Matthews (to be reviewed with DP2025-13) | Motion |
| 8. | Correspondence/Other – None | |
| 9. | Next Regular Meeting – Tuesday, January 27, 2026 at 6:00 PM | |
| 10. | Questions From the Media | |
| 11. | Adjournment | Motion |

The Town invites and encourages people with disabilities to attend and voice their comments in relation to accessibility related reports. For those who are unable to attend, the Town encourages the use of the Customer Feedback Form found on the Accessibility Page on the Town's website.



PLANNING ADVISORY/COMMITTEE OF ADJUSTMENT/PROPERTY STANDARDS COMMITTEE MEETING MINUTES

Tuesday, October 28, 2025 @ 6:00 PM
In Person and Via Webex Teleconference Meeting

| COMMITTEE MEMBERS PRESENT | | STAFF PRESENT |
|---------------------------|------------------------------|---------------------------------|
| Chair: | Councillor Colin Brown | Brenda Guy, Mgr of Plan/Dev |
| Members: | Brian Brooks | Trudy Gravel, Assistant Planner |
| | Lynda Garrah | |
| | Emery Groen | |
| | Neil McCarney | |
| | Jana Miller | |
| | Kathy Warren | |
| Regrets: | Councillor Anne-Marie Koiner | |

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| 1. | Call Meeting to Order |
| | Chair Colin Brown called the meeting to order at 6:00 PM |
| 2. | Adoption of the Agenda |
| | <p>PAC-COA-PSC Motion #2025-33 Moved by: Neil McCarney Seconded by: Kathy Warren BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE/COMMITTEE OF ADJUSTMENT/ PROPERTY STANDARDS COMMITTEE ADOPT THE AGENDA DATED OCTOBER 28, 2025. - CARRIED</p> |
| 3. | <p>Disclosure of Pecuniary Interest & General Nature Thereof – Councillor Anne-Marie Koiner – Disclosed (in advance and absent) for 145 River Street as it is in proximity to her residence. Kathy Warren - Disclosed for 145 River Street as it is in proximity to her residence.</p> |
| 4. | Adoption of Minutes |
| | <p>PAC-COA-PSC Motion #2025-34 Moved by: Brian Brooks Seconded by: Lynda Garrah BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE/COMMITTEE OF ADJUSTMENT/ PROPERTY STANDARDS COMMITTEE ADOPT THE MINUTES DATED SEPTEMBER 23, 2025. - CARRIED</p> |

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| 5. | Public Question/Comments – None |
| 6. | Unfinished Business – None |
| 7. | Reports/New Business |
| | DEVELOPMENT PERMIT APPLICATION |
| | DP2025-15 – 230 Victoria Avenue – Class II Development Permit |
| | <p>Applicant Catriona Mackenzie-Gray and owner Daniel Chabot were in attendance.</p> <p>Development Permit application DP2025-15 is to seek relief to reduce the maximum projection for an unenclosed porch into the required front yard setback from 3m to 2m. The new porch is proposed to be constructed in the dimensions of 2.4m deep by 7.9m wide consisting of 19m² and will have a staircase located at the north side of the structure to the driveway.</p> <p>The proposed porch will replace an existing concrete porch which is presently in a state of disrepair and not safe for use. The request is to provide improved accessibility and mobility for the residents.</p> <p>Committee members were supportive of the request for the application.</p> <p>PAC-COA-PSC Motion #2025-31 – DP2025-15 – 230 Victoria Avenue Moved by: Lynda Garrah Seconded by: Kathy Warren</p> <p>BE IT RESOLVED THAT PLANNING ADVISORY have no objection to application DP2025-15 (Mackenzie-Gray) at 230 Victoria Avenue to permit the reduction in the maximum permitted projection for an unenclosed porch only into the required front yard setback from 3m to 2m in the dimensions of 2.4m by 7.9m consisting of 19m² subject to the following conditions:</p> <ul style="list-style-type: none"> - All costs associated with fulfilling the conditions of this decision are borne by the Owner, and - The Owner fulfill all conditions within one year of this approval or the application will lapse. <p style="text-align: right;">- CARRIED</p> |
| | Kathy Warren left the meeting at 6:15 pm. |
| | OFFICIAL PLAN AMENDMENT & DEVELOPMENT PERMIT APPLICATION OPA8-25 & DP2025-13 145 River Street Class III Development Permit |
| | <p>Applicant Bethanie Matthews was in attendance at the meeting.</p> <p>An Official Plan Amendment OPA8-25 has been requested to redesignate the lands from Residential to General Commercial Special Exception for the use of a commercial sports and recreation establishment to include a fitness centre, kayak rentals (no launching) and e-bike rentals promoting a community health hub. The</p> |

existing commercial building currently enjoys legal non-conforming status and is operating as a flea market on the weekends and holidays. Two additions are being proposed on the site.

Application DP2025-13 is seeking to redesignate the lands from the Residential to a site specific Progressive Commercial use to permit a commercial sports and recreation facility as proposed.

Staff provided an overview of the applicable policies in the Provincial Planning Statement, Official Plan and Development Permit By-law. The current use, being a flea market operating primarily on weekends and holidays is considered a non-conforming use within a residential designation.

Staff provided to the Committee rationale as to why the application for an Official Plan Amendment is unable to be supported by Staff as it is not in keeping with the policies in the Official Plan for the General Commercial use. The property is within a residential designation and not a natural extension of the General Commercial designation. Staff further discussed legal non-conforming uses and how considerations are given to change or amend the policies. It is Staff's opinion that the request before the Committee is unsupportable and that the planning policy documents are about the lands and not the individuals making the application.

Bethanie Matthews spoke to the application and the work that she does as an active member in the community. The facility will create a community hub for the Town. She would like to work with staff to create a facility for the community.

Members of the public spoke summarizing and noting as follows:

- Pat Funnell, former operator of the boxing club. The new fitness centre will provide a service for boxing club members (loss of 50-100 members).
- Lyla Maclean, former employee Gan Fitness. She noted that a larger building will provide for more patrons and increased accessibility for seniors.
- Ryan McNeal noted difficulty to change the use of the existing building to another commercial use i.e. garage and restaurant as the property is not in an appropriate location for those uses.
- Dawn Maclean, Community Living & District. Indicated that a fitness centre provides support with those that have disabilities. The facility will be accessible for patrons with wheelchairs and walkers. This project would be welcomed as it provides for improved health and inclusion in the community.
- Joanne Carswell, Gananoque Canoe Club. The proposed new use provides opportunities for developing partnerships with the canoe club. Concern was raised with families who do not have the financial means for sports. The facility would provide an opportunity for members of the canoe club to continue their training at the new location.
- Sharon Sherry Nelson. Indicated that new location is perfect for the Town. She understands the site specific General Commercial use would extend the request.

| | |
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| | <ul style="list-style-type: none"> • Heather Oriley. Inquired on historical use of the property given it was a coop, sale of canoes and now flea market. • Jennifer Witzke. Location ideal for kids in Grades 1-6 being in proximity to Linklater Public School and for residents and seniors. <p>Most Committee members felt that the concern of the redesignations was not the business and what it brings to the community but that the policies do not permit the use. A member noted the importance of the trail adjacent the building and the heavy use and there is a strong need and support from the community.</p> <p>PAC-COA-PSC Motion #2025-36 – OPA8-25 – 145 River Street Moved by: Neil McCarney Seconded by: Emery Groen</p> <p>BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE recommends to Council that the application OPA8-2025 be deferred and the applicant resubmit and review the designation of lands to a Residential exception.</p> <p style="text-align: right;">- CARRIED</p> <p>PAC-COA-PSC Motion #2025-37 – DP2025-13 – 145 River Street Moved by: Brian Brooks Seconded by: Emery Groen</p> <p>BE IT RESOLVED THAT PLANNING ADVISORY COMMITTEE recommends to Council that application DP2025-13 145 River Street (Matthews) be deferred, to redesignate the lands from Residential to Commercial Traditional exception, until such time as an Official Plan Amendment has been approved.</p> <p>AND FURTHER, should an Official Plan Amendment be obtained the Application for Development Permit be resubmitted and reviewed accordingly.</p> <p style="text-align: right;">- CARRIED</p> |
| 8. | Correspondence/Other – None |
| 9. | Next Regular Meeting: Tuesday, November 25, 2025 @ 6:00 pm |
| 10. | Questions From the Media – None |
| 11. | <p>Adjournment PAC-COA-PSC Motion #2025-38 Moved by: Neil McCarney Seconded by: Brian Brooks</p> <p>BE IT RESOLVED THAT PAC/COA/PSC ADJOURN THE TUESDAY, OCTOBER 28TH 2025 MEETING AT 7:22 PM.</p> <p style="text-align: right;">- CARRIED</p> |
| <div style="display: flex; justify-content: space-between; border-top: 1px solid black; padding-top: 10px;"> <div style="width: 45%; border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="width: 45%; border-bottom: 1px solid black; margin-bottom: 5px;"></div> </div> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;">Colin Brown, Chair</div> <div style="width: 45%;">Brenda Guy, Committee Secretary</div> </div> | |

PLANNING REPORT

TO: PLANNING ADVISORY COMMITTEE

FROM: PLANNING AND DEVELOPMENT

MEETING DATE: TUESDAY, DECEMBER 9, 2025

SUBJECT: DP2025-18 – MORELLI – 295 OAK STREET
CLASS II DEVELOPMENT PERMIT

Background:

Property: 295 OAK STREET

Legal Desc: Lot 423, 425 & 427 on Registered Plan 86

Official Plan: RESIDENTIAL

Development Permit: RESIDENTIAL

Lot Coverage: 35% MAXIMUM

Purpose and Effect:

The request of the subject application is to seek relief for the exterior side yard setback from 3.58m to 2.93m. The property is approved for a two storey apartment building.

Background:

Development Permit application DP2024-16 was approved in August 2024 for the development of a two storey apartment building with a total of 16 one bedroom apartments at 295 Oak Street.

The approval included the site plan and relief for a reduction in the lane/aisle width, parking width, exterior side yard and site triangle. Specifically, and related to the current application relief was approved for the exterior side yard from 4.5m to 3.58m. The current application (DP2025-18) is seeking additional reduction from 3.58m to 2.93m for the exterior side yard. The exterior side yard is the unopened road allowance of Oak Street.

No other changes are proposed to the overall site plan. Staff are proposing an amendment to the approved DP2024-16.



Looking south from Third Street

PROVINCIAL PLANNING STATEMENT:

The Provincial Planning Statement, 2024 (PPS) provides direction on matters of provincial interest pertaining to land use planning and all development proposals must be consistent with the policies therein. The full PPS document can be found at <https://www.ontario.ca/page/provincial-planning-statement-2024>.

The following Provincial Policies were reviewed and considered under DP2024-16:

- 2.1 Planning for People and Homes
- 2.2 Housing
- 2.3.1 General Policies for Settlement Areas
- 2.4 Strategic Growth Areas
- 5.1 General Policies for Natural and Human-Made Hazards
- 5.2 Natural Hazards

COMMENT:

The Provincial Planning Statement provides for matters of provincial interest. The application before the Town is an amendment to the approved DP2024-16 application which met the policies of the Provincial Policy Statement.

OFFICIAL PLAN:

The subject property is designated Residential within the Official Plan. The intent of the residential policies is to preserve and consolidate existing residential neighbourhoods and to provide for new residential opportunities through intensification and redevelopment of vacant buildings to allow a mix of commercial and residential uses.

Goal and Objectives (3.2.1)

The goal of the Residential policy area is to promote a balanced supply of housing to meet the present and future social and economic needs of all segments of the community while providing opportunities to develop new residential uses in mixed

use buildings as well as non-residential neighbourhood components such as schools, community facilities, places of worship, parks and local commercial uses.

The applicable objectives of the Residential policy area are:

1. Promote and support development which provides for affordable, freehold and/or rental housing with a full range of density types;
3. Ensure that land use policies and zoning do not establish barriers to a more balanced supply of housing;
4. Ensure that residential intensification, infilling and redevelopment within existing neighbourhoods is compatible with surrounding uses in terms of architectural design and density;
6. Encourage housing opportunities that are in proximity to work, shopping, and recreation to reduce the need to drive and encourage walking and cycling;
8. Promote and support the protection of urban street trees in general and of heritage trees in particular.

Permitted Uses (3.2.2.1)

Permitted residential uses shall include the full range of dwelling types from low density single-detached dwellings to high density apartment dwellings.

Compatibility (3.2.2.4)

The Official Plan states that all new development, including infill residential development in existing neighbourhoods, maintains or enhances the surrounding area and is compatible with respect to built form, scale, urban design, intensity of use and streetscape.

Infill (3.2.2.5)

Infilling on registered lots where services are available shall be encouraged. Infill development shall be of the same scale and density as adjacent residential uses.

Access (3.2.2.9)

Indicates that Development shall be permitted only where safe, convenient access to a public road is available to ensure ready accessibility for school buses, ambulances, fire trucks, and other essential service vehicles.

Housing Supply and Affordability (3.2.2.10) provides for the future supply of land as well as water and sewer capacity. The section continues to encourage densification where appropriate for the provision of affordable housing.

Our Infrastructure (Section 4.0) provides that effective infrastructure services will be provided by the appropriate level of government or the private sector in a cost effective manner which recognizes development priorities and which ensures the protection of our environment.

Local Roads (4.1.3.2)

Generally new development and lot creation on local streets may be permitted in accordance with the relevant policies of this Plan and the requirements of the zoning by-law.

Section 4.1.4.1 Water, Waste Water and Stormwater Services

Ensure that water and wastewater infrastructures and stormwater management are properly maintained and expanded to meet growth and development priorities.

Development Criteria (5.4.4)

In addition to the policies established within the Residential designation, general development criteria are provided under Section 5.4.4. The following development criteria relate to the current proposal and are summarized as follows:

- The provision of safe access onto or from a local or Town road
- Adequate access to, and provision of, off-street parking.
- Access and maneuvering of emergency vehicles
- The availability of municipal services and the cost of upgrading such services
- Adequate grade drainage or storm water management and erosion control
- The provision of landscaping, the creation of privacy and/or open space areas
- Adequate exterior lighting for access and parking areas for public or private
- Safety and Security Criteria including signage, clear lines of sight, bicycle and pedestrian routes

COMMENT:

The approved apartment building is permitted within the Official Plan and meets the goals and the objectives to support development with rental housing.

The CRCA have no objection to the application from a natural hazards perspective. All concerns of the CRCA were addressed with the initial application (DP2024-16) and have no comments to provide in review of this application.

DEVELOPMENT PERMIT:

The subject property is designated Residential within the Development Permit By-law. The intent of the Residential designation is to allow for a varied density of residential uses.

An apartment is a permitted use within the designation. A total of 16 one-bedroom units consisting of 58.1m² (625.4 ft²) are proposed in a two-storey apartment building for long-term rental.

| Site Provision | Requirement | Existing |
|---------------------------|---|--------------------------------|
| Lot Area | 930m ² | 2015m ² |
| Lot Coverage (maximum) | 35% | 472.4 m ² = 23.4% |
| Lot Frontage | 24m | 36.6m |
| Front Yard Setback | 6m | 7.65m |
| Exterior Yard Setback | 4.5m req't DP By-law 3.58m approved (DP2024-16) | 2.39 m relief requested |
| Interior Side Yard (east) | 1.2m | 15.47m |
| Rear Yard Depth | 6.5m | 6.67m |
| Building Height (max) | 20m | 5.73m |

5.4.2 Multi-Unit Dwellings (Triplex, Townhomes, and Apartment Dwellings)

The By-law provides for additional requirements for multi-unit dwellings. Note: These were review under DP2024-16.

Design Criteria (5.4.4)

Within the Residential designation, the following criteria is provided to guide character and aesthetic:

- Corner lots should be encouraged to provide architectural interest on both street fronts.
- New buildings and entrances should be oriented to the street and are encouraged to have architectural interest to contribute to the aesthetics and visual appeal of the community.
- Retention of existing mature trees will be required unless development absolutely precludes retention. New development will be required at minimum to plant one tree per lot with a maximum distance between trees of 15 metres.
- Match setback, footprint, size and massing patterns of the neighbourhood, particularly to the immediate adjacent neighbours.
- Setback of new development should be consistent with adjacent buildings.
- The use of architectural elements such as roof shapes and design elements should be in keeping and complementary to existing and surrounding buildings, traditional patterns and neighbourhood.
- The use of materials and colours that are representative of the texture, character and palette of the community/neighbourhood is strongly encouraged.



Elevation Detail of the Proposed Two Storey Apartment Building

3.0 GENERAL PROVISIONS

Note: General Provisions were reviewed under DP2024-16. Those that apply to this application are noted below.

Accessory Structures (3.1)

- No closer to the front lot line or exterior side lot line setback of designation where it is located.
- No closer to the front lot line or exterior lot line than the main structure.
- No closer than 1 m to interior side lot line, rear lot line or main building.
- Shall not cover more than 10% of lot and shall not exceed 100m²/structure.

Parking and Storage of Vehicles (3.32)

Where parking for four or more vehicles is required, the following policies apply:

- Surface shall be constructed of asphalt paving, concrete, paving stones, similar material.

- Visually enhanced through vegetative plantings and landscape elements (fencing, trees, shrubs, lighting, street furniture and artistic elements).
- Ingress and egress directly to and from each parking space shall be by drive aisle of 6m (min) for two-way traffic and 3.5 m for one way traffic.
- One accessible space/20 standard spaces.
- Row and apartment dwellings require 1.25 spaces per dwelling unit

COMMENT:

As a summary, application DP2024-16 was previously approved for:

- reduction in the lane/aisle width from 6.0m for two-way traffic to 5.4m
- reduction in the parking width from the required width of 3m to 2.7m (no longer required with amending By-law 2025-025)
- exterior side yard reduction from the required 4.5m to 3.58m
- reduction in the site triangle from 15m for an apartment building to 11.3m.

Site Plan C1-00 drawing has been revised to provide an aisle width of 6.0m resulting in compliance for the two-way traffic. The garbage enclosure is proposed to be reduced in size from 18.1m² (195ft²) to 12m² (120 ft²). The Town does not provide for a size requirement as the garbage is undertaken by a private company.

The landscaping included 9 white pine trees along the front, rear and exterior side yards with grassed areas as per the previously approved Landscape Plan. A new wood fence will connect with a portion of an existing fence along the eastern interior lot line.

The parking lot provides for a total of 20 parking spaces which complies with the requirements of the By-law. The applicant provided 4 barrier free parking spaces which exceeds the requirements of the Development Permit By-law.

The applicants indicated that the reduction of the exterior side yard setback is due to mechanical rooms within the building that lack the size required to accommodate the services within the building. The request for the reduction of the exterior side yard setback is along an unopen road allowance being Oak Street. While it is always a possibility, it is unlikely that the portion of Oak Street abutting the subject lands will be developed as a municipal, year-round roadway given the property to the south is private property. The lands to the west of the unopen portion are vacant at this time and municipally owned.

CIRCULATION TO AGENCIES

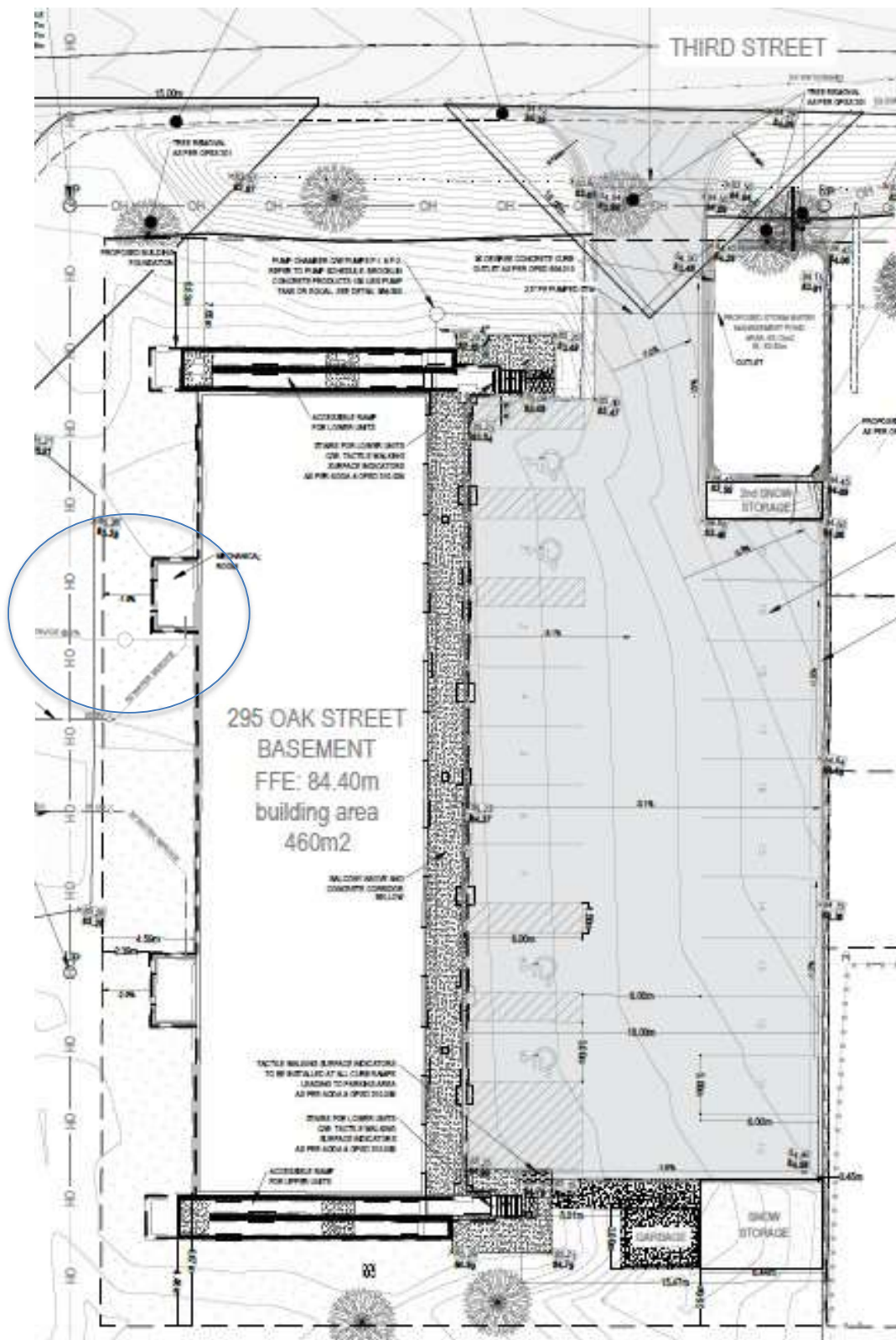
Circulation of 120 m to adjacent property owners and prescribed agencies (comments received to date):

| | |
|-----------------------------|------------------------------------|
| CAO | No comments |
| Chief Building Official | No objections |
| CRCA | No concerns or additional comments |
| School Boards: CDSBEO/UCDSB | |

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| Utilities: Bell Canada/Canada Post/ Cogeco/Enbridge Gas/ Eastern Ontario Power/Hydro One (OPG) | |
| EMS: Fire/LG Paramedic/Police | |
| Public Works, Water/Sewer Utilities | |
| St. Lawrence Parks Commission/ MTO/ Other Commenting Agencies | |
| Neighbourhood: Posting and 120m Circulation | |

Staff have no objection to application DP2025-18 Morelli (295 Oak Street) for the approved two-storey apartment building with additional relief for the exterior side yard setback of 3.58m to 2.39m. All other conditions under DP2024-16 shall apply.

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| APPROVAL | _____ Trudy Gravel, Assistant Planner |
| | _____ Brenda Guy, Manager of Planning and Development |



NOTICE OF MEETING Proposed Class II Development Permit

TAKE NOTICE that the Planning Advisory Committee/Committee of Adjustment for the Town of Gananoque will hold a Meeting on **TUESDAY, DECEMBER 9, 2025 at 6:00 P.M.** via **TELECONFERENCE*** and **IN-PERSON** in the TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 KING STREET EAST to provide a recommendation to Council on the application below.

*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hallpublic-meetings/planning-advisory-committee-meeting-december-9-2025> prior to the meeting.

File No.: **DP2025-18**

OWNER: Be Morelli Inc

APPLICANT: Jordan Morelli

The property municipally and legally described as

295 Oak Street

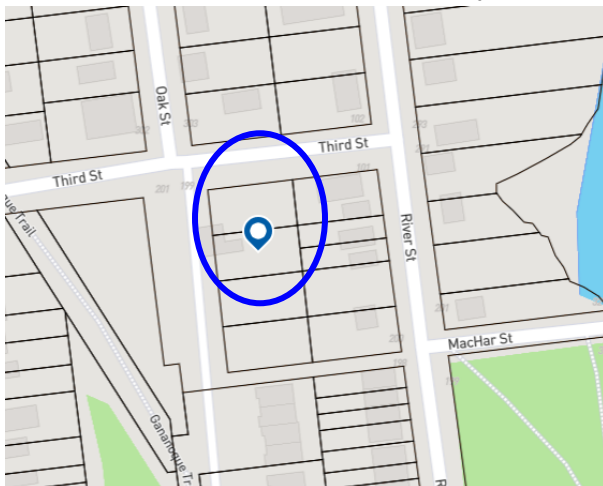
**PLAN 86 PT LOTS 423, 425, 427 GAN R W/S OAK ST E/S
TOWN OF GANANOQUE**

has applied to the Town of Gananoque for an application for a Development Permit to
**CONSTRUCT A TWO STOREY APARTMENT BUILDING WITH 16 DWELLING UNITS
AND REQUEST RELIEF FOR AN ADDITIONAL REDUCTION IN THE EXTERIOR SIDE YARD SETBACK
FROM 3.58M TO 2.39M (APPLICATION DP2024-16 APPROVED WITH A REDUCTION IN THE EXTERIOR
SIDE YARD FROM 4.5M TO 3.58M)**

Additional information in relation to the proposed development permit is available for inspection at the Town Hall Administration Offices located at 30 King Street East, Gananoque, ON, on the Town website at <https://www.gananoque.ca/town-hall/meetings>, by emailing assistantplanner@gananoque.ca or by calling Trudy Gravel 613-382-2149 ext. 1129.

If you wish to provide comment or input you may do so at the public meeting or in writing prior to the meeting.

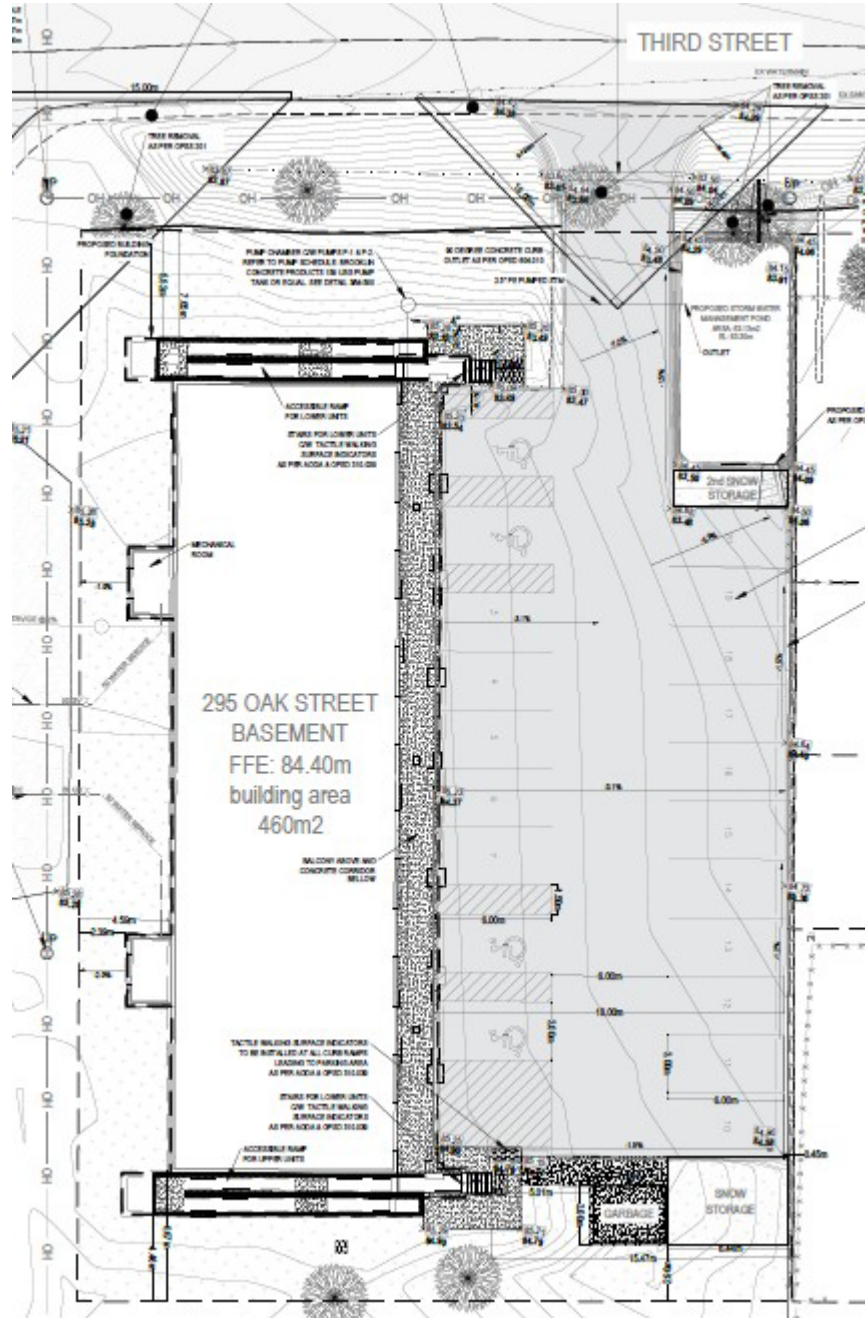
Note: Only the applicant of a development permit has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.



DATED this 26TH day of NOVEMBER 2025

Brenda Guy
Manager of Planning and Development
bguy@gananoque.ca
613-382-2149 ext. 1126

Proposed Site Plan



Proposed Elevation Plan





APPLICATION FOR DEVELOPMENT PERMIT APPROVAL
Section 70.2 of the Planning Act, RSO 1990, as amended

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A Pre-consultation meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

ALL applications require the following:

- ☒ Complete application form signed including declaration of applicant*
- ☒ Proof of ownership, deed of property or offer to purchase and sale*
- ☒ Legal survey and/or Building Location Survey for the subject property*
- ☒ If the development is for commercial and/or employment, multi-residential – One (1) large scale paper copy of all plans shall be submitted along with one set of reduced 11" x 17" of all plans and your electronic copy. Plans are to be in a standard scale format (1:250 1:500)
- ☒ Application fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☒ Deposit fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☒ Fees payable to the Cataraqui Region Conservation Authority, if applicable. Contact the CRCA for more information.

CONTACT INFORMATION

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

| | | |
|--|---|-----------------------------------|
| Name of Applicant: Ben Redden | Complete Address including Postal Code: 2485 Mcivor road Kingston, ON, K7L 4v4 E-mail: ben@reddenscontracting.ca | Phone: 613-453-9610 |
| Name of Property Owner (if different than applicant): BE Morelli Inc | Complete Address including Postal Code: 23 Willowbank Road East Gananoque, ON, K7G 2V5 E-mail: jordan@emfmapping.ca | Phone: 613-876-5169 |
| Architect/Designer/Planner: Lisa Henderson House of Three | Complete Address including Postal Code: 3800 Holmes Road Inverary ON K0H1X0 E-mail: Lisa@houseofthree.ca | Phone: 613-876-2488 |
| Engineer: Jaime Maitland, P.Eng. Greer Galloway a division of Jp2g Consultants Inc. | Complete Address including Postal Code: 640 CATARAQUI WOODS DR, UNIT 2A KINGSTON, ON, K7P 2Y5 E-mail: KINGSTON@JP2G.com | Phone: 613-536-5420 |
| Land Surveyor: Phil Chitty Hopkins Chitty Land Surveyors Inc | Complete Address including Postal Code: 1224 Gardiners Road, Suite 102 Kingston, ON, K7P 0G2 E-mail: info@hopkinschitty.com | Phone: 613-384-9266 |

PROPERTY

| | |
|--|--|
| Street or Property Address (if applicable): 295 Oak Street | Roll Number (if known): 0814 000 01041700.0000, 0814 000 01041800.0000, 0814 000 01041905.0000 |
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LEGAL DESCRIPTION

| | | | |
|---|-----------------------------|--------------------------|-------|
| Lot/Con/Plan: Was LOTS 423, 425 & 427 W GANANOQUE RIVER PLAN 86; Lots consolidated as 44253-0769 (LT) from 44253-0360, 44253-0362, 44253-0365 on 12 Nov 2025 | | | |
| Frontage (m/ft): 36.6m | Depth (m/ft): 55m | Lot Area: 2015 | 0.497 |

SUBMISSION REQUIREMENTS

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

☒ **Site Plan(s)** including scaled accurate measurements of:

- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
- Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
- Dimensions and gross floor area of all building and structures to be erected;
- Existing structures to be retained, removed or relocated;
- Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
- Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
- Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features
- Access driveways including curbing and sidewalks
- Proposed fire routes and fire route sign locations
- Dimensions and locations of loading zones, waste receptacles and other storage spaces;
- Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
- Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
- Location, type and size of any other significant features such as fencing, gates and walkways.

☒ **Drainage Plan(s)** including scaled accurate measurements of:

- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;

☒ **Landscape Plan(s)** including scaled accurate measurements of:

- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;

☒ **Site Servicing Plan(s)** including scaled accurate measurements of:

- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.

☒ **Grade Control and Drainage Plan(s)** including scale accurate measurements of:

- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
- Location of any creeks, ravines or watercourses with elevations and contours;
- Arrows indicating the proposed direction of flow of all surface water;
- Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
- Existing and/or proposed right-of-ways or easements

☒ Elevation and Cross-Section Plan(s) including scale accurate measurements of:

- Coloured elevation drawings or renderings of each side of the building to include materials being used and their consideration to the neighbourhood (PHOTOS OF EXISTING BUILDING ARE PERMITTED IF NO ADDITIONS ARE BEING UNDERTAKEN)
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
- Conceptual design of building;
- Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
- Exterior design including character, scale, appearance and design features of the proposed building;
- Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
- Photographs of the subject land and abutting streetscape on both side of the street

☒ Supporting Studies and Reports. Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

- | | |
|---|---|
| <input type="checkbox"/> Air, Noise or Vibration Study | <input type="checkbox"/> Sanitary System Design & sufficient capacity |
| <input type="checkbox"/> Archaeological Study | <input type="checkbox"/> Servicing Options Report |
| <input checked="" type="checkbox"/> Drainage and/or stormwater management report | <input type="checkbox"/> Source Water Protection – Risk Management Assessment |
| <input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area | <input type="checkbox"/> Sun/Shady Study |
| <input type="checkbox"/> Erosion and Sediment Control Plan | <input type="checkbox"/> Traffic Study |
| <input type="checkbox"/> Geotechnical Study and Hydrogeological Study | <input type="checkbox"/> Vegetation Inventory/Preservation |
| <input type="checkbox"/> Heritage Resource Assessment/Study | <input type="checkbox"/> Visual Impact Assessment |
| <input type="checkbox"/> Hydrogeology/Groundwater Study | <input type="checkbox"/> Water Distribution System & sufficient capacity |
| <input checked="" type="checkbox"/> Phase I Environmental, investigation if required | <input type="checkbox"/> Wave Uprush Study |
| <input type="checkbox"/> Form 1's – Record of Future Alteration (Water, Sewer and Storm) | <input checked="" type="checkbox"/> Supporting Land Use Planning Report |
| | <input type="checkbox"/> Other: |

NOTES TO OWNER/APPLICANT:

- Applications may be subject to any Town incurred costs over and above the fees set out (See By-law 2016-047) being a by-law to establish general fees and rates for various services provided by the municipality). This is in the form of a deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of various studies as outlined in the application.
- Cataraqui Region Conservation Authority (CRCA) - Applications may be subject to review and a separate cheque payable to the CRCA. Fees are identified on the CRCA website <https://cataraquiconservation.ca/pages/permit-fees>. The Town recommends that you consult with a Conservation Authority Officer prior to making application.
- The applicant/owner may be required to provide 100% security of the cost of works in the form of a Letter of Credit or Certified Cheque upon signing of the Development Permit Agreement for all Class III applications and any Class that may require a background study or legal registration of documents.
- Security will remain with the Town until such time as the works are completed for any agreement. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

Existing Use(s):

Length of time the existing use of the subject lands have continued:

Has the property been designated as a Heritage Site?

☐ Yes☒ No

Is the property presently under a Site Plan/Development Permit Agreement?

☒ Yes☐ No

Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act?

☐ Yes☒ No

Has the property ever been subject of an application under Section 70.2 (Development Permit By-law) of the Planning Act?

☒ Yes☐ No

If the property has been subject of applications under the Planning Act noted above, provide the file number(s) and the status of the application?

Relief was previously approved in file DP2024-16 4.5m to 3.58m for the exterior side yard

Proposed Use(s):

16 unit residential building

Is the **Use** permitted or permitted subject to criteria as set out in the development permit by-law?☒ Yes☐ No

How has the applicable criteria have been addressed?

Is/Are variation(s) requested?

☒ Yes☐ No

If yes, what variation is requested and why?

As per the C1-00 drawing the mechanical room is requested for approval 2.39m from the exterior side yard to allow more space to fit mechanical area's

Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law.

Abutting Land Use(s) – east, west, north, south:North, East, and South: residential
West: vacant brownfield

| | | |
|---|------------------------------|--|
| Is the Development to be phased? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| What is the anticipated date of construction? | | |
| Is the land to be divided in the future? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Are there any easements, right-of-ways or restrictive covenants affecting the subject land? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| If yes, please provide details (and copies of covenants with application submission). | | |

Plan Details: Please ensure that measurements are consistent with plan

| | | | |
|---|-------------------------------------|---|---|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Commercial | <input type="checkbox"/> Employment Lands/ Industrial | <input type="checkbox"/> Institutional |
| Building Coverage: <u>23.4</u> (%) <u>472 m²</u> (sq.m) | | Landscape Coverage: stated in site plan <u>31</u> (%) <u>632 m²</u> (sq.m) | |
| Building Height: 5.73m | No. of Storeys: 2 | No. of Units: 16 | Storage of Garbage: Exterior garbage area with 5ft wooden fence |

| | | | | |
|----------------------|---|-------------------------|---|---------------------------|
| Parking Area: | Existing Parking Surface | | | |
| | <input type="checkbox"/> Paved <input type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input checked="" type="checkbox"/> Other | | | |
| | Proposed Parking Surface: | | | |
| | <input checked="" type="checkbox"/> Paved <input type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other | | | |
| | # of Existing Parking Spaces | # of New Parking Spaces | # of Accessible Parking Spaces | Total # of Parking Spaces |
| | 0 | 20 | 4 | 20 |
| | Dimension of Parking Spaces (m/ft): 8.9' x 19.71' | | Dimensions of Accessible Parking Spaces (m/ft): 9.88' x 19.71' | |

| | | |
|---------------------------------------|---------------------------|--------------------------------------|
| LOADING SPACES, if applicable: | Number of Loading Spaces: | Dimensions of Loading Spaces (m/ft): |
| | | |

| | | | |
|--|------------------------------|--|---|
| Heritage Tourist Inn/Bed and Breakfast/Short Term Accommodation*: | | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this an application for a Heritage Tourist Inn? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | |
| Number of Guest Rooms: | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 | <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 |
| NOTE: A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application. | | | |
| Is this an application for a Bed and Breakfast? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | |
| Number of Guest Rooms: | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 | <input type="checkbox"/> 3 |
| Is this an application for a Short Term Accommodation? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | |
| Number of Guest Rooms: | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 | <input type="checkbox"/> 3 |

| | | | |
|---|--|---|---|
| Access*: | Potable Water*: | Sewage Disposal*: | Stormwater*: |
| <input checked="" type="checkbox"/> Municipal Street <input type="checkbox"/> Existing Private Road/ Lane <input type="checkbox"/> Existing Right-of-way <input type="checkbox"/> Unopen Road Allowance <input type="checkbox"/> Other: | <input checked="" type="checkbox"/> Town Owned/operated Water System <input type="checkbox"/> Private Well <input type="checkbox"/> River <input type="checkbox"/> Other: | <input checked="" type="checkbox"/> Town Owned/Operated Sewage System <input type="checkbox"/> Private Septic and Tile Field <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Town Owned/Operated Sewers <input type="checkbox"/> Swales <input type="checkbox"/> Ditches <input type="checkbox"/> Other |
| Provide any applicable hook-up approvals and/or permit number(s) applicable to the above: | | | |

| | |
|---|---|
| Water Access (where access to the subject land is by water only) | |
| Docking Facilities (specify) distance from subject land _____ distance from nearest public road _____ | Parking Facilities (specify) distance from subject land _____ distance from nearest public road _____ |

| EXISTING BUILDINGS: | | Building 1 - Primary | Building 2 - Accessory |
|----------------------------|---------------------------------------|----------------------|------------------------|
| | Type of Structure (ie: wood concrete) | Vacant Land | |
| | Date Constructed: | | |
| | Front Line Setback: | | |
| | Rear Lot Line Setback: | | |
| | Side Lot Line Setback: | | |
| | Side Lot Line Setback: | | |
| | Height: | | |
| | Dimensions: | | |
| Floor Area: | | | |

| PROPOSED BUILDINGS: | | Building 1 - Primary | Building 2 - Accessory |
|--|--|---------------------------|------------------------|
| Type of Structure (ie: wood concrete) | | ICF Concrete, wood framed | |
| Proposed Date of Construction: | | December 2025 | |
| Front Line Setback: | | 5.52 m | |
| Rear Lot Line Setback: | | 4.5 m | |
| Side Lot Line Setback: | | 16.47 m | |
| Side Lot Line Setback: | | 2.39 m | |
| Height: | | 5.73 m | |
| Dimensions: | | As per Plans | |
| Floor Area: | | As per Plans | |
| Attached Additional Page, if necessary | | | |

Attached with site plan

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize

Ben Redden (print name) to be the applicant in the submission of this application.

Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

BE Morelli Inc

Owner Name (Please Print)

Owner Name (Please Print)

Jordan C. Morelli

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

CONSENT BY OWNER

I/We, Be Morelli Inc, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

Jordan C. Morelli

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

DECLARATION OF APPLICANT

(Print) I, BE Morelli Inc of the town Gananoque of Gananoque in the province of Ontario solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

GANANOQUE

this 26th day of November

2025.

Commissioner
Lynsey Zufelt
Town of Gananoque
Lynsey Zufelt, Deputy Clerk
Signature of a Commissioner, etc

BA

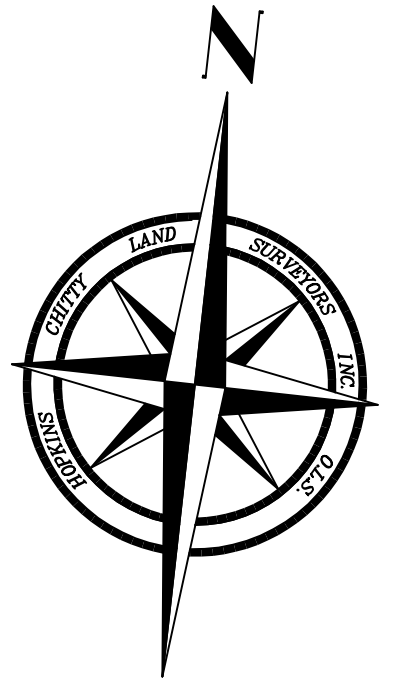
Signature of Applicant

| | | |
|---|---|--|
| Office Use Only: | | Roll No: 081400001041905 081400001041800 |
| Official Plan Designation: Residential | Development Permit Designation: Residential | Other: 081400001041700 |
| Access (Entrance Permits etc): | Water and Sewer Hookup (Permits etc): | Other: |
| Other Concurrent Applications: | <input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> condo Approval <input type="checkbox"/> Consent/ Severance | <input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Subdivision Approval |
| Date Application Received: November 26, 2025 | Date Application Deemed Complete: November 26, 2025 | Fees Received: \$700 November 26, 2025 |

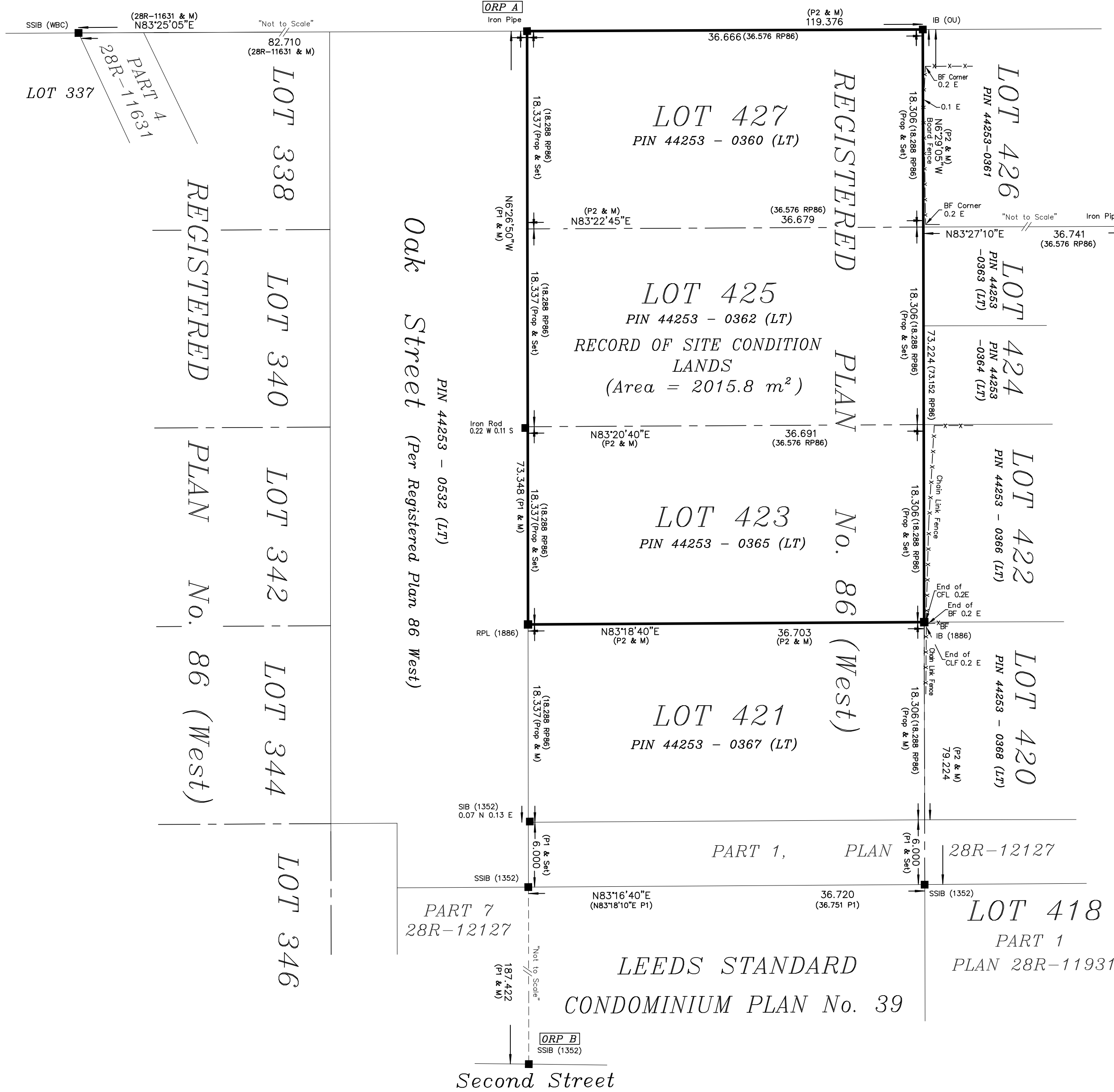
For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca

Third Street (Per Registered Plan 86 West)

PIN 44253 - 0516 (LT)



River Street



PLAN OF SURVEY of
All of LOTS 423, 425 and 427,
REGISTERED PLAN 86 (West)
TOWN OF GANANOQUE
COUNTY of LEEDS
SCALE = 1:300

10metres 0 10 20 30metres

HOPKINS CHITTY LAND SURVEYORS INC.
-2023-

LEGEND:

SSIB'S PLANTED DUE TO INSUFFICIENT OVERBURDEN

- denotes Planted Survey Monument
- Found Survey Monument
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- IB# " Iron Bar (round)
- RB " Rock Bar
- IP " Iron Pipe
- RP " Registered Plan
- (WIT) " Witness
- (OU) " Origin Unknown
- (M) " Measured
- (WBC) " Collett Surveying Ltd. - O.L.S.
- (613) " R. F. Mucklestone - O.L.S.
- (1352) " Brian W. Kerr Surveying Ltd - O.L.S.
- (1886) " Hopkins Chitty Land Surveyors Inc.-O.L.S.
- (P1) " Reference Plan 28R-12127
- (P2) " Plan by (1886) dated January 7, 2021.
- Prop " Proportioned
- BF " Board Fence
- CLF " Chain Link Fence

BEARING NOTE:

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 18, NAD83 (CSRS) (2010).

FOR BEARING COMPARISONS, A ROTATION OF 0°40'10" CLOCKWISE WAS APPLIED TO BEARINGS ON 28R-12127.

FOR BEARING COMPARISONS, A ROTATION OF 0°47'05" CLOCKWISE WAS APPLIED TO BEARINGS ON 28R-11631.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99969858.

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

1. This Survey and Plan are correct and in accordance with the SURVEYS ACT, the SURVEYORS ACT and the REGULATIONS made under them.

2. This Survey was completed on the 2nd day of May, 2023.

HOPKINS CHITTY LAND SURVEYORS INC.

JURGEN ISMAILI - O.L.S.

DATE: MAY 3, 2023

No person may copy reproduce, distribute or alter this plan in whole or in part without the written permission of Hopkins Chitty Land Surveyors Inc.

"This is Not an Original Copy Unless Embossed with Seal"

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THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-48040.

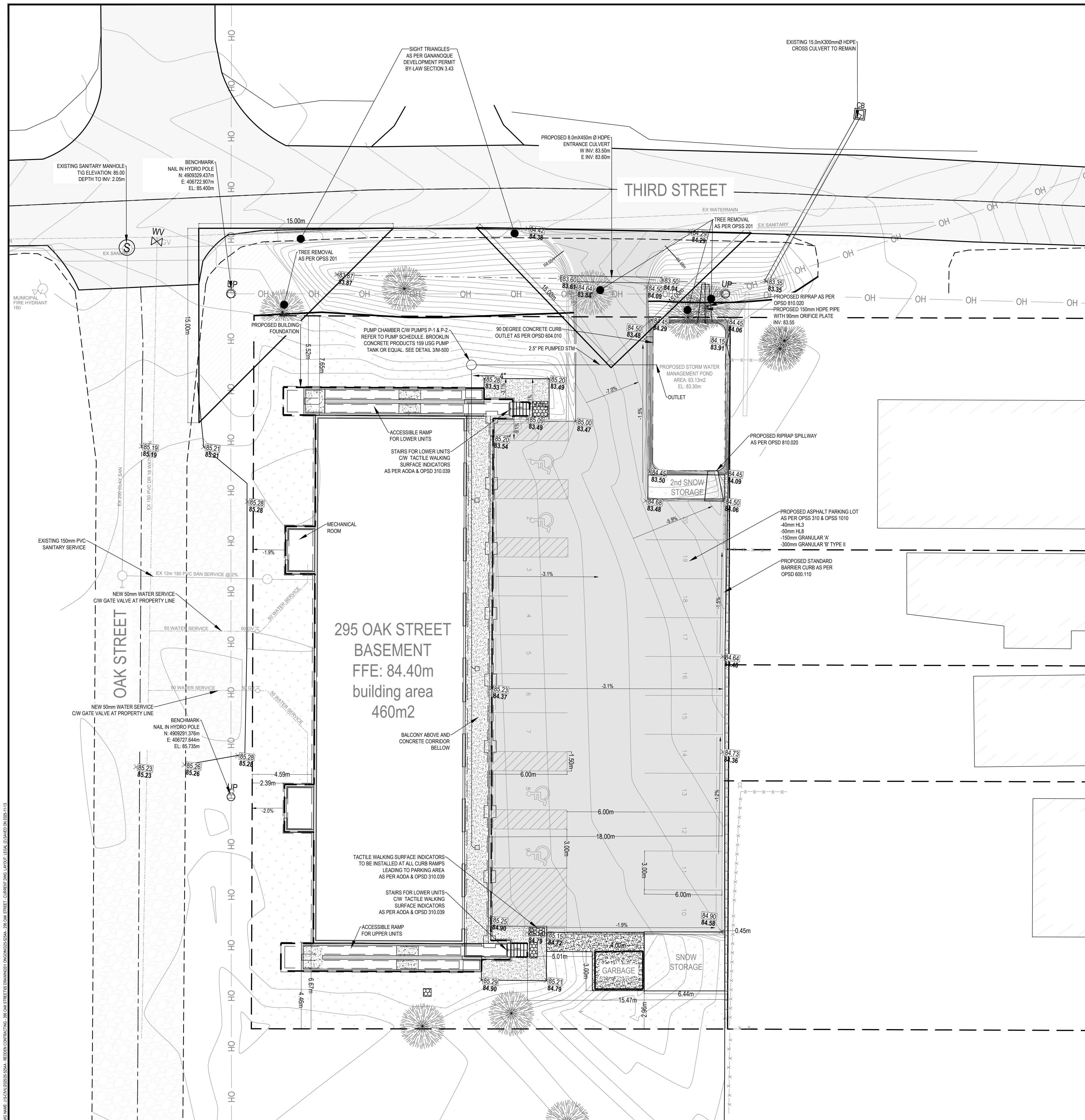
Party Chief: T.J. Instrument: M.T. Checked By: J.I. Plan By: J.I.



HOPKINS CHITTY LAND SURVEYORS INC.
Ontario Land Surveyors
www.hopkinschitty.com

1224 GARDINERS ROAD, SUITE 102
KINGSTON, ONTARIO K7P-0C2
Tel (613) 384-9266
Fax (613) 384-3513

PROJECT No. 2023-0028
LOTS 423, 425 and 427
REGISTERED PLAN 86 (WEST)
TOWN OF GANANOQUE

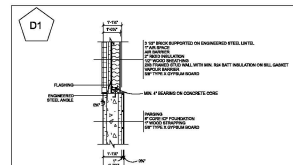


| Site Provisions | Provision Requirements | Proposed |
|--|--|---|
| 1. Minimum lot area (m ²) | 10,011 ft ² (930 m ²) | 21689 ft ² (2015m ²) |
| 2. Maximum lot coverage (m ²) | 35% | 4951.4 ft ² (460m ²) + 129 ft ² (12m ²) =5080.6 ft ² (472 ²) (23.4%) |
| 3. Minimum lot frontage (m) | 78.7 ft (24m) | 120.17 ft (36.6m) |
| 4. Minimum front yard setback (m) | 19.6 ft (6.0m) | 18.11 ft (5.52m) |
| 5. Minimum exterior side yard setback (m) | 14.7 ft (4.5m) | 7.84 ft (2.39m) |
| 6. Minimum interior side yard setback (m) | 3.9 ft (1.2m) | 50.75 ft (15.47m) |
| 7. Minimum rear yard depth (m) | 21.3 ft (6.5m) | 14.6 ft (4.5m) |
| 8. Maximum building height (m) | 65.5 ft (20.0m) | 18.83 ft (5.73m) |
| 9. Minimum amenity space (m ²) | 2152 ft ² (20 m ²) per dwelling unit = 3443.2 ft ² (320 m ²) | 6802 ft ² (632m ²) |
| 10. Maximum at grade parking area | 40% | 8001.9 ft ² (743m ²) = 37% |
| 11. Minimum parking spaces | 1.25 per dwelling unit | 20-spaces |
| 12. Minimum accessible parking spaces | per 20 standard parking spaces | 4-spaces |
| 13. Number of dwelling units | | 16 (1-Bedrooms) |
| 14. Parking surface material | | Asphalt |
| | | |
| | | |
| | | |
| Residential | Zoning Requirement Accessory Building | Proposed |
| 15. Maximum lot coverage (m ²) | 10% | 129 ft ² (12m ²) =0.6% |
| 16. Minimum interior side yard setback (m) | 3.2 ft (0.97m) | 21.13 ft (6.44m) |
| 17. Minimum rear yard depth (m) | 3.2 ft (0.97m) | 9.71 ft (2.96m) |
| 18. Minimum setback from main building (m) | 3.2 ft (0.97m) | 16.44 ft (5.01m) |
| 19. Minimum exterior side yard setback (m) | 14.7 ft (4.5m) | 9.71 ft (2.96m) |
| 20. Minimum front yard setback (m) | 19.6 ft (6.0m) | 160.73 ft (49.0) |
| 21. Maximum gross floor area (m ²) | 1076 ft ² (100m ²) | 129 ft ² (12m ²) |

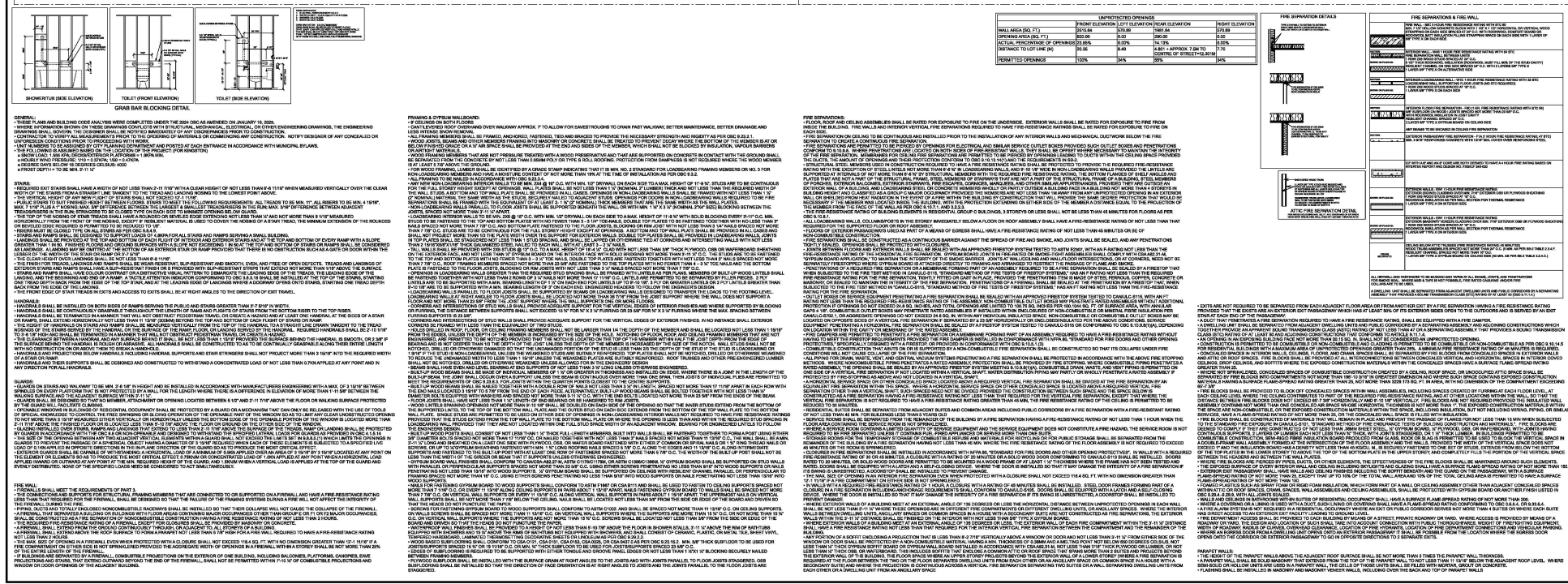
[illegible]



centre of floor slab



| | |
|--|-----------------------------------|
| | PAGE: A1 PAGE 1 OF 5 |
|--|-----------------------------------|



**295 OAK ST.
GANANOQUE, ON**

SCALE: 1/4" = 1'-0"

**AREA=5266.6 SQ.FT./489.26 SQ.M. PER BUILDING
2 BUILDINGSX489.26 SQ.M. =978.57 SQ.M. TOTAL.**

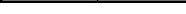
DRAWN BY: BRANDON / MARNIE / LISA

DATE: October 13, 2025

REVIEWED BY: LISA HENDERSON, MAATO, CBCO

APPROVED BY: LISA HENDERSON, MAATO, CBCO

| |
|---|
| PAGE: A2 PAGE 2 OF 5 |
|---|



PLANNING REPORT

TO: PLANNING ADVISORY COMMITTEE

FROM: PLANNING AND DEVELOPMENT

MEETING DATE: TUESDAY, DECEMBER 9, 2025

SUBJECT: DP2025-16 – 77 PINE STREET
CLASS III DEVELOPMENT PERMIT

Background:

Property: 77 PINE STREET

Legal Description: PLAN 86 LOTS 11 12 PT LOTS; 10 13 PT MARKET SQ
BLK O AND; RP 28R1143 PARTS 1 AND 2

Official Plan: LOWERTOWN

Development Permit: LOWERTOWN MIXED USE

Lot Coverage: 75% MAXIMUM

Purpose and Effect:

The request is construct two additions to the existing single storey commercial building located at 77 Pine Street to provide additional space for the existing dental clinic. A single storey addition i(16.1m²) is proposed at the northwest corner and a two storey addition(61.1m²) at the southwest corner of the building. The parking lot is proposed to be reconfigured along the west side of the property.

Background:

The subject property has a frontage of 122.9m along Pine Street and a depth of 28.32m along the eastern interior lot line and 34.4m along the western interior lot line. The building contains a dental clinic and professional offices. The property is adjacent the clock tower at the southeast corner, the former post office building to the east, a municipal parking lot to the west, three storey apartment building to the south and apartment building to the north.



View of the front of the existing building along Pine Street

PROVINCIAL PLANNING STATEMENT:

The Provincial Planning Statement, 2024 (PPS) provides direction on matters of provincial interest pertaining to land use planning and all development proposals must be consistent with the policies therein. The full PPS document can be found at <https://www.ontario.ca/page/provincial-planning-statement-2024>. Policies which repeat or are not relevant to the current proposal have been omitted from commentary below.

2.1 Planning for People and Homes

6. Planning authorities should support the achievement of *complete communities* by:
- a) accommodating an appropriate range and mix of land uses, *housing options*, transportation options with *multimodal* access, employment, *public service facilities* and other institutional uses

2.3 Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

Settlement areas shall be the focus of growth and development.

3. Planning authorities shall support general *intensification* and *redevelopment* to support the achievement of *complete communities*.

2.4 Strategic Growth Areas

2.4.1 General Policies for Strategic Growth Areas

1. Planning authorities are encouraged to identify and focus growth and development in *strategic growth areas*.
2. To support the achievement of *complete communities*, a range and mix of *housing options*, *intensification* and more mixed-use development, *strategic growth areas* should be planned:
 - a) to accommodate significant population and employment growth;
 - b) as focal areas for education, commercial, recreational, and cultural uses
3. Planning authorities should:
 - c) permit *development* and *intensification* in *strategic growth areas* to support the achievement of *complete communities* and a *compact built form*;

2.8 Employment

1. Planning authorities shall promote economic development and competitiveness by:
 - a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;
 - d) encouraging *intensification* of employment uses and compatible, compact, mixed-use development to support the achievement of *complete communities*

COMMENT:

The proposal is in keeping with the direction of the Province for an expansion to the existing dental clinic within a settlement area and complete community. The property is located within an existing serviced built-up neighbourhood and the property has existing municipal services provided to the site.



Southwest corner of the building with a two-storey addition

OFFICIAL PLAN:

The Town of Gananoque Official Plan is an essential planning document which is designed to manage future growth, development and change in the Town. The Official Plan provides a framework which will guide land use decisions within the Town's boundaries. The Official Plan was adopted by By-law 2009-39 on September 15, 2009.

The property is located in the Lowertown designation of the Official Plan.

3.1 Our Heritage – Planning Lowertown

3.1.1. Create a vibrant, year-round, mixed-use Lowertown neighbourhood on an active waterfront where people live, work and play.

Objectives in regards to the application include:

3. Protect and enhance existing viable businesses in a mixed use setting
6. Protect and enhance existing recreation, tourism and cultural uses in a mixed use setting
8. Enhance vehicular and pedestrian circulation and orientation
9. Encourage appropriate cultural activities and facilities

3.1.2.3 Development and Re-Development Policies

All of the Lowertown designation is considered to be a mixed use development area and provides for a range of permitted uses including tourism, service, arts and cultural uses.

4.0 Making it Work – Our Infrastructures

Section 4.0 indicates that any infrastructure related to the construction and maintenance shall be taken into consideration when reviewing applications. Infrastructure considers roads, bridges, water and sewer, stormwater management, transportation etc.

5.4.4 Development Criteria

Councils shall consider development criteria when reviewing the compatibility and appropriateness of any new development or redevelopment, when considering amendments to the Zoning By-law (Development Permit By-law).

5.9 Economic Development

Council's intent is to recognize that the economic base of the Town is dependent upon a mix of commercial, service industries, manufacturing activities and tourism.

This is achieved by:

1. To sustain and to build on the existing strength of the commercial, industrial and tourism sectors of the economy.

COMMENT:

The proposal is consistent with the overall intent, goals and objectives of the Lowertown designation of the Official Plan as it provides for two additions to an existing dental clinic that will enhance the existing viable business in a mixed use setting. Existing landscaping will be protected and additional landscaping will be provided on the property to enhance the existing site. Walkway connections have been provided from the barrier free parking spaces to the building to provide for safe access into the building. The property has existing municipal services to the site.

An Archeological Study was requested due to the lands being adjacent a known historical property being the Blockhouse. The Phase I of the study has not been received to date. The archeological is required to be completed by a qualified person. Should the Phase I indicate that further Phases are required, it would be required prior to any works occurring on the site. As of this report, the applicant does not anticipate this to be completed until Spring 2026.

Development criteria will be addressed within the Development Permit By-law review.

DEVELOPMENT PERMIT:

The property is designated Lowertown Mixed Use in the Development Permit By-law. The Lowertown enjoys a rich cultural heritage and it is the intention of the by-law to provide for an increased level of exterior design and to enhance both private and public realms within the Lowertown designation.

Section 4.0 Lowertown Mixed Uses

The Development Permit By-law provides for a variety of residential and non-residential uses that include retail, clinic and office uses for the purposes of a mixed use and livable community.

Section 4.1 Site Provisions

According to Municipal Property Assessment Corporation records, the building was constructed around 1975. According to Town records, applications for an expansion to a medical clinic were undertaken in 1988 and 1991.

Section 3.0 General Provisions

Section 3.32 Parking and Storage of Vehicles

- Clinic - 6 spaces per doctor, there are two doctors in the clinic and a total of 12 parking spaces are required for the dental clinic which has a floor area of 323.2m²
- Professional office use – 1 space per 20m² of gross floor area, the total tenant area is 103.4m² and the total required number of tenant parking spaces is 6 parking spaces
- A total of 18 parking spaces are required for the two additions
- The proposal includes a total of 20 parking spaces including 2 barrier free spaces

Barrier Free Parking

One barrier-free parking space shall be provided for every 20 standard parking spaces and shall be included in the total number of parking spaces required. The parking spaces include concrete curb stops.



Arial view of 77 Pine Street

Site Provisions (4.2)

The following site provisions are based on the permitted non-residential uses

| Site Provision | Requirements | Existing/Proposed |
|------------------------|--------------------|----------------------------------|
| Lot Area | 232 m ² | 349.4 m ² |
| Lot Coverage (maximum) | 75% | 19.1% existing 24.4% proposed |
| Lot Frontage | 7.5 m | 51.3 m |

| | | |
|---------------------------|------|----------------------------------|
| Front Yard Setback | 0m | 4.5m n/c |
| Exterior Yard Setback | 0m | n/a |
| Interior Side Yard (east) | 0m | 12.6m |
| Interior Side Yard (west) | 0m | 17.2m existing 15.5m proposed |
| Rear Yard Depth | 4.5m | 6.8m |
| Building Height (max) | 12m | 4m existing 6.2m proposed |

Section 4.5 Design Criteria

The objective within the Lowertown Mixed Use designation is to recognize the historical, architectural character and unique streetscape this distinctive area of Town enjoys.

Within the design criteria the following is summarized:

- Architectural interest through the use of exterior cladding materials that compliment the cultural heritage of the area is encouraged.
- Façade details that provide for varied materials and details that add to the pedestrian and public experience.
- Garbage enclosures – fencing and screening
- Soft landscape materials
- Pedestrian access

COMMENT:

The request for the proposed additions are to provide additional floor area for the dental clinic area of the building at 77 Pine Street. Architectural interest is provided in the exterior cladding materials that compliment the cultural heritage of the area with the use of red clay bricks similar to the historic brick used on the adjacent buildings and horizontal metal siding. The exterior of the second storey addition will consist mainly of glass.

Exterior lighting will be located in the soffits of the overhangs to ensure the light is directed downwards only.

A new walkway will be installed along the west and south sides of the building. A separate entrance is being proposed to the dental clinic. The entry to the professional offices will remain. Existing sidewalks are located along both sides of Pine Street and an existing light standard is located at the front of the property.

The proposal includes the addition of 3 parking spaces including 2 barrier free parking spaces for a total of 20. Painted walkways with proper tactile strips are extended from the barrier free spaces to the entrances of the building. The parking will be realigned at the west side of the property and curb stops will be provided for each parking space. Staff recommend that parking space 9 be removed as it would not function with the garbage enclosure.

The site contains existing landscaping consisting of trees along the front of the property and shrubs along the rear of the property. Additional landscaping will be provided at the front of the property along Pine Street and along the west side of the building and rear of the building.

A fenced garbage enclosure will be located in the southeast corner. The existing garbage storage bin will be removed from the site. The existing sign will be removed and a new ground sign will be located in the front yard.

CIRCULATION TO AGENCIES

Circulation of 120 m to adjacent property owners and prescribed agencies (comments received to date):

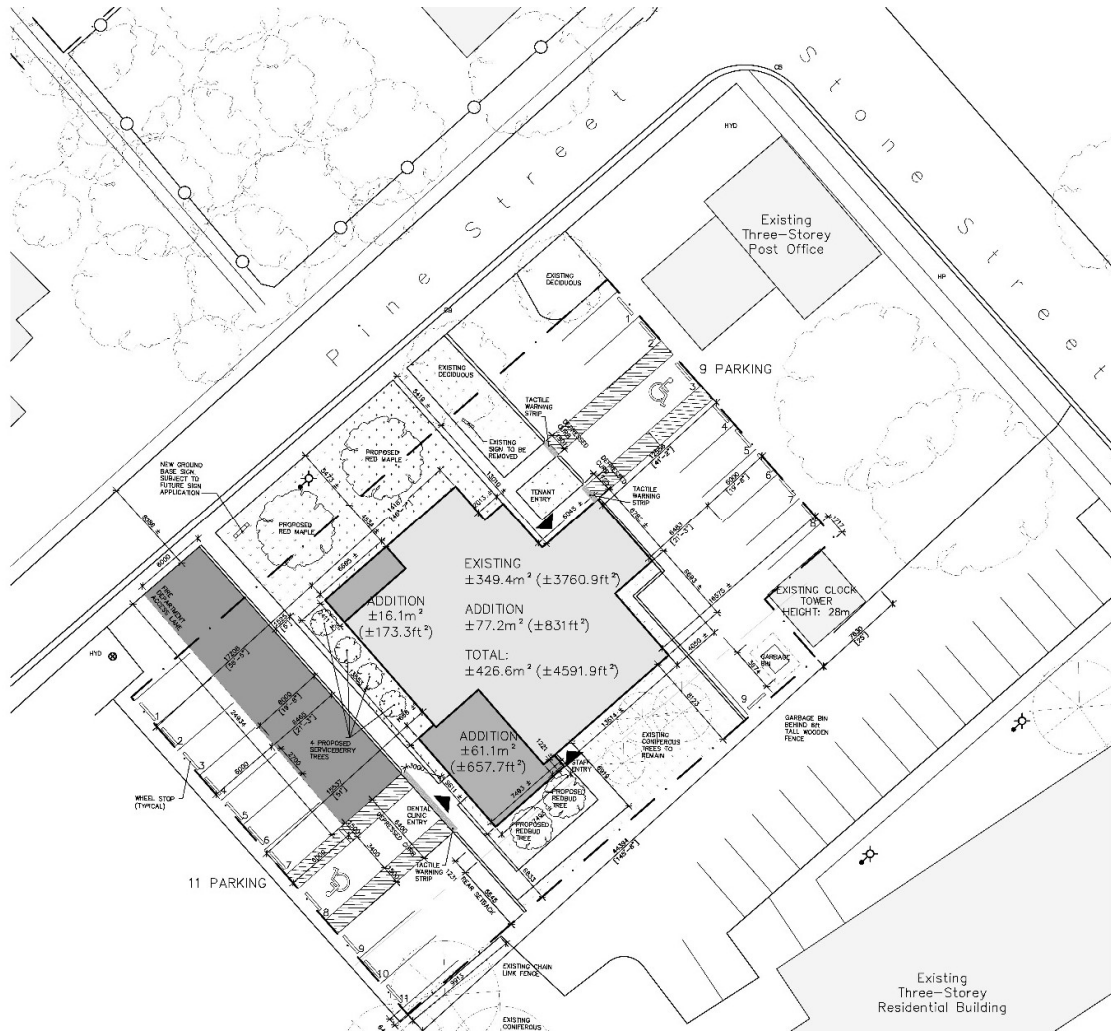
| | |
|--|---|
| CAO | |
| Chief Building Official | |
| CRCA | The CRCA has no comment |
| School Boards: CDSBEO/UCDSB Health Unit: South East Health Unit | |
| Utilities/Public Works: Bell Canada/ Canada Post/ Cogeco/Enbridge Gas/ Eastern Ontario Power/Hydro One (OPG) | |
| EMS: Fire/LG Paramedic/Police | |
| Public Works, Water/Sewer Utilities | |
| St. Lawrence Parks Commission/ MTO/ Other Commenting Agencies | |
| Neighbourhood: Posting and 120m Circulation | No comments were received from the public |

Staff have no objection to Development Permit DP2025-16 (772663 Ontario Limited) at 77 Pine Street to construct two additions to the existing building subject to the following conditions:

- Owner obtain approvals from Public Works/Utilities Department for water and sewer services in accordance with the Urban Service Requirements;
- Owner obtain approvals from Public Works/Utilities for compliance with the Backflow Prevention program;
- Owner submit and meet all requirements of the Archeological Assessment as per the Ministry before land development can proceed.
- The Owner enter into a Development Permit Agreement within one year of the Notice of Decision or the approval may lapse; and
- The Owner fulfill all conditions within one year of this approval or the application will lapse.

| | |
|----------|---|
| APPROVAL | |
| | Trudy Gravel, Assistant Planner |
| | Brenda Guy, Manager of Planning and Development |

Site Plan of 77 Pine Street



NOTICE OF MEETING Proposed Class III Development Permit

TAKE NOTICE that the Planning Advisory Committee/Committee of Adjustment for the Town of Gananoque will hold a Meeting on **TUESDAY, DECEMBER 9, 2025 at 6:00 P.M.** via **TELECONFERENCE*** and **IN-PERSON** in the TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 KING STREET EAST to consider and provide a recommendation to Council on the Development Permit application below.

AND TAKE FURTHER NOTICE that the Council for the Corporation of the Town of Gananoque will hold a Public Meeting on **TUESDAY, DECEMBER 16, 2025 at 5:00 P.M.** via **TELECONFERENCE*** and **IN-PERSON** in the TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 KING STREET EAST to consider the following application.

*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hall/meetings> prior to the meeting.

File No. **DP2025-16**

APPLICANT: **CATARAQUI CONSTRUCTION**
OWNER: **772663 ONTARIO LIMITED**

The property municipally and legally described as

77 PINE STREET

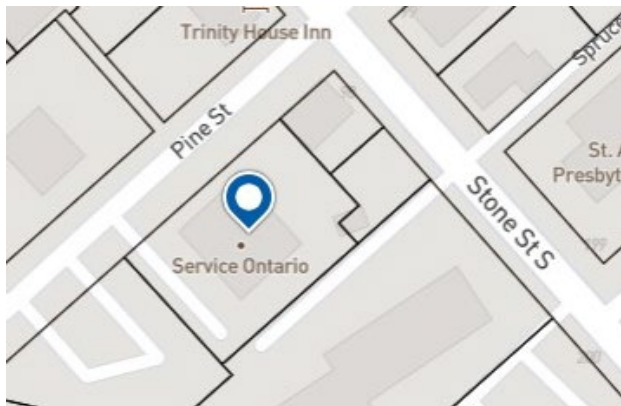
PLAN 86 LOTS 11 12 PT LOTS; 10 13 PT MARKET SQ BLK O AND; RP 28R1143 PARTS 1 AND 2
Town of Gananoque

has applied to the Town of Gananoque for a Development Permit for
TWO ADDITIONS TO THE EXISTING BUILDING FOR THE PURPOSES OF THE DENTAL CLINIC

Additional information in relation to the proposed development permit is available for inspection at the Town Hall Administration Offices located at 30 King Street East, Gananoque, ON, on the Town website at <https://www.gananoque.ca/town-hall/meetings>, by emailing assistantplanner@gananoque.ca or by calling Trudy Gravel 613-382-2149 ext. 1129.

If you wish to provide comment or input you may do so at the public meeting or in writing prior to the meeting.

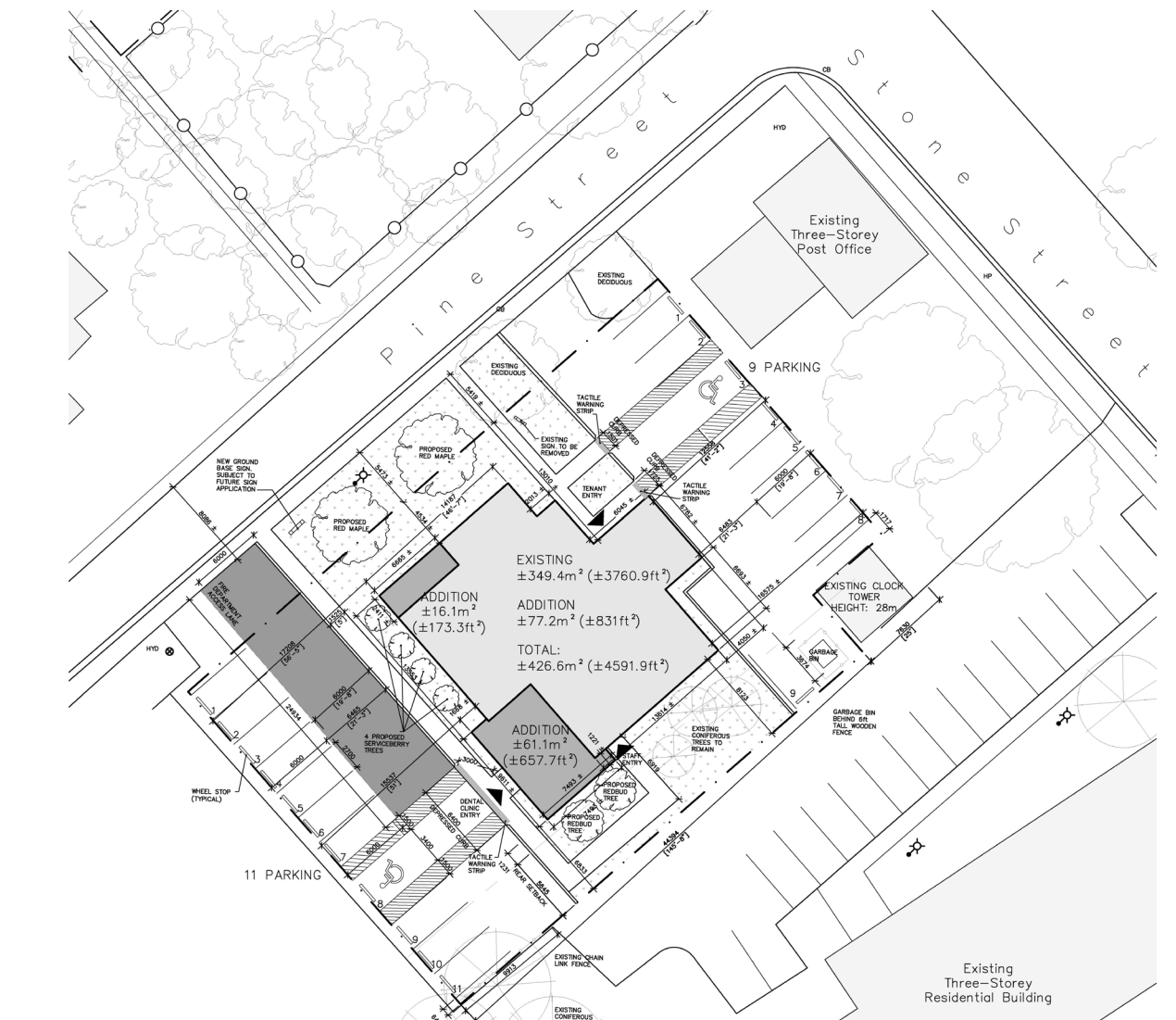
Note: Only the applicant of a development permit has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.



DATED this 14TH day of **NOVEMBER, 2025**

Brenda Guy
Manager of Planning and Development
bguy@gananoque.ca
613-382-2149 ext. 1126

Site Plan





APPLICATION FOR DEVELOPMENT PERMIT APPROVAL
Section 70.2 of the Planning Act, RSO 1990, as amended

This application form MUST be accompanied with all the submission requirements in order to be considered a complete application. Incomplete applications will not be processed until all information is provided.

A Pre-consultation meeting with Planning and Development staff is REQUIRED PRIOR TO SUBMISSION of this application. At that time, approval stream and submission requirements will be determined. ALL applications require the following:

ALL applications require the following:

- ☐ Complete application form signed including declaration of applicant*
- ☐ Proof of ownership, deed of property or offer to purchase and sale*
- ☐ Legal survey and/or Building Location Survey for the subject property*
- ☐ If the development is for commercial and/or employment, multi-residential – One (1) large scale paper copy of all plans shall be submitted along with one set of reduced 11" x 17" of all plans and your electronic copy. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Application fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Deposit fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Fees payable to the Cataraqui Region Conservation Authority, if applicable. Contact the CRCA for more information.

CONTACT INFORMATION

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

| | | |
|--|--|-------------------------------|
| Name of Applicant: Ruan Hall Cataraqui Construction | Complete Address including Postal Code: 1399 Tamarack Street Kingston K7M 7J2 | Phone: 613 484 7937 |
| | E-mail: cataraquiconstruction@gmail.com | |
| Name of Property Owner (if different than applicant): 772663 Ontario Limited | Complete Address including Postal Code: 529 Palace Road Kingston ON K7K 4T6 | Phone: 613 544 4445 |
| | E-mail: orthodvs@kos.net | |
| Architect/Designer/Planner: SZA Shoalts and Zaback Architects Ltd | Complete Address including Postal Code: Suite 206 4 Cataraqui Street Kingston K7K 1Z7 | Phone: 613 539 2927 |
| | E-mail: gshoalts@szarch.com | |
| Engineer: Omar Atrach, P. Eng. | Complete Address including Postal Code: 2431 Middle Road, Kingston ON K7L 4V3 | Phone: 613 484 0633 |
| | E-mail: omar.atrach@yahoo.com | |
| Land Surveyor: Hopkins Chitty Land Surveyors Inc. | Complete Address including Postal Code: 1224 Gardiners Road, Suite 102 Kingston ON K7P 0G2 | Phone: 613 384 9266 |
| | E-mail: aferguson@hopkinschitty.com> | |

PROPERTY

| | | |
|--|--|-------------------------|
| Street or Property Address (if applicable): 77 Pine Street | Roll Number (if known): 081400002043301 | |
| LEGAL DESCRIPTION | | |
| Lot/Con/Plan: Plan 86 Lots 10 13 Market Sq Blk 0 and RP 28R1143 Parts 1 and 2 | | |
| Frontage (m/ft): 171.67ft | Depth (m/ft): @115ft | Lot Area: 0.42ac |

| |
|-------------------------|
| SUBMISSION REQUIREMENTS |
|-------------------------|

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

- ☒ Site Plan(s) including scaled accurate measurements of: *Submitted*
- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
 - Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
 - Dimensions and gross floor area of all building and structures to be erected;
 - Existing structures to be retained, removed or relocated;
 - Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
 - Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
 - Parking areas including number, size of spaces and dimensions. The plans shall have regard for Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
 - Access driveways including curbing and sidewalks
 - Proposed fire routes and fire route sign locations
 - Dimensions and locations of loading zones, waste receptacles and other storage spaces;
 - Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
 - Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
 - Location, type and size of any other significant features such as fencing, gates and walkways.
- ☒ Drainage Plan(s) including scaled accurate measurements of: *In progress, will follow*
- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;
- ☒ Landscape Plan(s) including scaled accurate measurements of: *Included on submitted Architectural Site Plan*
- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;
- ☒ Site Servicing Plan(s) including scaled accurate measurements of: *In progress, will follow*
- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.
- ☒ Grade Control and Drainage Plan(s) including scale accurate measurements of: *In progress, will follow*
- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
 - Location of any creeks, ravines or watercourses with elevations and contours;
 - Arrows indicating the proposed direction of flow of all surface water;
 - Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
 - Existing and/or proposed right-of-ways or easements

☒ Elevation and Cross-Section Plan(s) including scale accurate measurements of: *Submitted*
The proposed additions and renovations will significantly improve the appearance of the building and its fit within the character of the Lowertown Heritage Area. The principal facades will be clad with a red clay brick which is similar to the brick of the adjacent heritage buildings. The streetscape and landscaping will also improve the fit within the neighbourhood.

- Coloured elevation drawings or renderings of each side of the building to include materials being used and their consideration to the neighbourhood (PHOTOS OF EXISTING BUILDING ARE PERMITTED IF NO ADDITIONS ARE BEING UNDERTAKEN)
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
- Conceptual design of building;
- Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
- Exterior design including character, scale, appearance and design features of the proposed building;
- Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
- Photographs of the subject land and abutting streetscape on both side of the street

☒ Supporting Studies and Reports. Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements: *Archaeologist has been engaged. Their report will follow. We believe no zoning relief is required. Therefore, a land use planning report is not required*

- | | |
|---|---|
| <input type="checkbox"/> Air, Noise or Vibration Study | <input type="checkbox"/> Sanitary System Design & sufficient capacity |
| <input type="checkbox"/> Archaeological Study <i>In progress, will follow</i> | <input type="checkbox"/> Servicing Options Report |
| <input type="checkbox"/> Drainage and/or stormwater management report | <input type="checkbox"/> Source Water Protection – Risk Management Assessment |
| <input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area | <input type="checkbox"/> Sun/Shady Study |
| <input type="checkbox"/> Erosion and Sediment Control Plan | <input type="checkbox"/> Traffic Study |
| <input type="checkbox"/> Geotechnical Study and Hydrogeological Study | <input type="checkbox"/> Vegetation Inventory/Preservation |
| <input type="checkbox"/> Heritage Resource Assessment/Study | <input type="checkbox"/> Visual Impact Assessment |
| <input type="checkbox"/> Hydrogeology/Groundwater Study | <input type="checkbox"/> Water Distribution System & sufficient capacity |
| <input type="checkbox"/> Phase I Environmental, investigation if required | <input type="checkbox"/> Wave Uprush Study |
| <input type="checkbox"/> Form 1's – Record of Future Alteration (Water, Sewer and Storm) | <input type="checkbox"/> Supporting Land Use Planning Report <i>N.A.</i> |
| | <input type="checkbox"/> Other: |

NOTES TO OWNER/APPLICANT:

- ~~Applications may be subject to any Town incurred costs over and above the fees set out (See By-law 2016-047) being a by-law to establish general fees and rates for various services provided by the municipality). This is in the form of a deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of various studies as outlined in the application.~~
- ~~Catarauqui Region Conservation Authority (CRCA) - Applications may be subject to review and a separate cheque payable to the CRCA. Fees are identified on the CRCA website <https://cataraquiconservation.ca/pages/permit-fees>. The Town recommends that you consult with a Conservation Authority Officer prior to making application.~~
- ~~The applicant/owner may be required to provide 100% security of the cost of works in the form of a Letter of Credit or Certified Cheque upon signing of the Development Permit Agreement for all Class III applications and any Class that may require a background study or legal registration of documents.~~
- Security will remain with the Town until such time as the works are completed for any agreement. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

| | |
|--|---|
| Existing Use(s): <i>Dental Clinic and Rental Office Suites</i> | |
| Length of time the existing use of the subject lands have continued: <i>Unknown an addition was completed in 1991</i> | |
| Has the property been designated as a Heritage Site? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Is the property presently under a Site Plan/Development Permit Agreement? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Has the property ever been subject of an application under Section 70.2 (Development Permit By-law) of the Planning Act? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If the property has been subject of applications under the Planning Act noted above, provide the file number(s) and the status of the application? No | |

| | |
|---|---|
| Proposed Use(s): <i>Continuation of the existing uses. The additions are needed for functional improvements to the dental office.</i> | |
| Is the Use permitted or permitted subject to criteria as set out in the development permit by-law? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| How has the applicable criteria have been addressed? <i>The proposed additions and renovations will significantly improve the appearance of the building and the fit within the character of the Lowertown Heritage Area. The principal facades will be clad with a red clay brock which is similar to the brick on the adjacent heritage</i> | |
| Is/Are variation(s) requested? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If yes, what variation is requested and why? N.A. | |
| Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law. N.A. | |

| |
|---|
| Abutting Land Use(s) – east, west, north, south: |
| North: Funeral Home and Apartments in former house East: Apartments in former Post Office and Fromer Clock Tower South: Apartment Building. West: Municipal Parking Lot |

| | | |
|---|------------------------------|--|
| Is the Development to be phased? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| What is the anticipated date of construction? | | |
| Is the land to be divided in the future? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Are there any easements, right-of-ways or restrictive covenants affecting the subject land? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| If yes, please provide details (and copies of covenants with application submission). | | |

| | | | |
|--|--|--|---|
| Plan Details: Please ensure that measurements are consistent with plan | | | |
| <input type="checkbox"/> Residential | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Employment Lands/ Industrial | <input type="checkbox"/> Institutional |
| Building Coverage: 24% (%) 426.6 (sq.m) | | Landscape Coverage: 26.8 (%) 468.93 (sq.m) | |
| Building Height: | No. of Storeys: 1 | No. of Units: 2 | Storage of Garbage: Screened Garbage Container |

| | | | | |
|---------------|---|-------------------------------|--|---------------------------------|
| Parking Area: | Existing Parking Surface <input checked="" type="checkbox"/> Paved 996.82 M2 <input type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other | | | |
| | Proposed Parking Surface: <input checked="" type="checkbox"/> Paved 853.06M2 <input type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other | | | |
| | # of Existing Parking Spaces 17 | # of New Parking Spaces 18 | # of Accessible Parking Spaces 2 | Total # of Parking Spaces 20 |
| | Dimension of Parking Spaces (m/ft): 2.7M x 6M | | Dimensions of Accessible Parking Spaces (m/ft): 2.7 x 6 M plus 1.5M space on each side | |

| | | |
|--------------------------------|--|--------------------------------------|
| LOADING SPACES, if applicable: | Number of Loading Spaces: N.R. | Dimensions of Loading Spaces (m/ft): |
|--------------------------------|--|--------------------------------------|

| | | | |
|---|--|------------------------------|--|
| Heritage Tourist Inn/Bed and Breakfast/Short Term Accommodation*: | | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this an application for a Heritage Tourist Inn? | | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| Number of Guest Rooms: | | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 |
| NOTE: A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application. | | | |
| Is this an application for a Bed and Breakfast? | | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Number of Guest Rooms: | | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 <input type="checkbox"/> 3 |
| Is this an application for a Short Term Accommodation? | | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| Number of Guest Rooms: | | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 <input type="checkbox"/> 3 |

| Access*: | Potable Water*: | Sewage Disposal*: | Stormwater*: |
|---|--|---|---|
| <input checked="" type="checkbox"/> Municipal Street <input type="checkbox"/> Existing Private Road/ Lane <input type="checkbox"/> Existing Right-of-way <input type="checkbox"/> Unopen Road Allowance <input type="checkbox"/> Other: | <input checked="" type="checkbox"/> Town Owned/operated Water System <input type="checkbox"/> Private Well <input type="checkbox"/> River <input type="checkbox"/> Other: | <input checked="" type="checkbox"/> Town Owned/Operated Sewage System <input type="checkbox"/> Private Septic and Tile Field <input type="checkbox"/> Other | <input checked="" type="checkbox"/> Town Owned/Operated Sewers <input type="checkbox"/> Swales <input type="checkbox"/> Ditches <input type="checkbox"/> Other |
| Provide any applicable hook-up approvals and/or permit number(s) applicable to the above: | | | |

| Water Access (where access to the subject land is by water only) | |
|--|---|
| Docking Facilities (specify) | Parking Facilities (specify) |
| distance from subject land _____ | distance from subject land _____ |
| distance from nearest public road _____ | distance from nearest public road _____ |

| EXISTING BUILDINGS: | Building 1 - Primary | Building 2 - Accessory |
|---------------------------------------|--|------------------------|
| Type of Structure (ie: wood concrete) | Concrete block walls, precast concrete roof slabs | N.A |
| Date Constructed: | Unknown, an addition was constructed in 1991 | |
| Front Line Setback: | 4.53M | |
| Rear Lot Line Setback: | 8.123M | |
| Side Lot Line Setback: | 12.588M | |
| Side Lot Line Setback: | 17.225M | |
| Height: | 4M | |
| Dimensions: | Varies, Refer to the Site Plan | |
| Floor Area: | 349.4 M2 | |

| PROPOSED BUILDINGS: | | Building 1 - Primary | Building 2 - Accessory |
|--|--|---------------------------------|------------------------|
| Type of Structure (ie: wood concrete) | | <i>Wood frame additions</i> | <i>N.A</i> |
| Proposed Date of Construction: | | <i>Mid-January 2026</i> | |
| Front Line Setback: | | 4.53M | |
| Rear Lot Line Setback: | | 8.123M | |
| Side Lot Line Setback: | | 12.588M | |
| Side Lot Line Setback: | | 15.537M | |
| Height: | | Generally 4M, 6.2M at new lobby | |
| Dimensions: | | Varies, Refer to the Site Plan | |
| Floor Area: | | 416.6 M2 | |
| Attached Additional Page, if necessary | | | |

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize RUAN HALL (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

Darryl Smith

Owner Name (Please Print)

Kelly Crawford

Owner Name (Please Print)

Darryl Smith

Signature of Owner

Kelly Crawford

Signature of Owner Date

Signature of Witness (not applicant)

CONSENT BY OWNER

I/We, Darryl Smith / Kelly Crawford (print name(s)) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

Darryl Smith

Signature of Owner

Kelly Crawford

Signature of Owner

Signature of Witness (not applicant)

Date

DECLARATION OF APPLICANT

(Print) I, RUAN HALL of the CITY of KINGSTON in the PROVINCE of ONTARIO solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of The Canada Evidence Act.

Declared/Sworn before me at

Town of Gananoque
this 5th day of November
2025

for the Corporation of the
Town of Gananoque.

Expires August 6, 2027.

Signature of a Commissioner, etc

RUAN HALL

Signature of Applicant

| | | |
|--|---|--|
| Office Use Only: | | Roll No: <u>020 43301</u> |
| Official Plan Designation: <u>Lowertown</u> | Development Permit Designation: <u>Lowertown - Mixed Use</u> | Other: |
| Access (Entrance Permits etc): | Water and Sewer Hookup (Permits etc): | Other: |
| Other Concurrent Applications: | <input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> condo Approval <input type="checkbox"/> Consent/ Severance | <input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Subdivision Approval |
| Date Application Received: <u>November 5/25</u> | Date Application Deemed Complete: <u>November 13, 2025</u> | Fees Received: <u>\$3900 - 1900 + 2000 deposit -</u> |

For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca



December 04, 2025

Ruan Hall
Cataraqui Construction
1929135 Ontario Inc.
1399 Tamarac St
Kingston, Ontario K7M7J2

Re: Stage 1 Archaeological Assessment of 77 Pine Street, Part Lots 10, 11, 12, 13, East of the Gananoque River, Registered Plan 86, Town of Gananoque.

As per the proposal provided November 18, 2025 please take note of the following factors affecting the completion of the Stage 1 assessment. A Stage 1 assessment includes a standard property inspection. As per the Ontario Ministry of Citizenship and Multiculturalism's Standards and Guidelines (2011) no archaeological field studies can take place during periods of frozen or snow covered ground (Standard 1.2, Section 2). As we have now entered the winter weather conditions I will not be able to complete the Stage 1 assessment until the spring weather has arrived. Thanks for your understanding.

If you have any questions please contact me at 613-530-7944.

Regards,

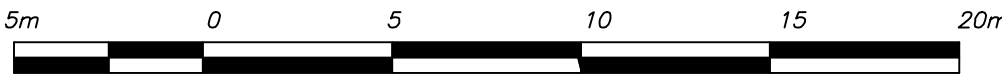
A handwritten signature in black ink, appearing to read "MBerry", with a long, sweeping underline.

Michael Berry, PhD, CAHP
Abacus Archaeological Services
www.abacusarchaeology.ca
abacusarchservices@gmail.com

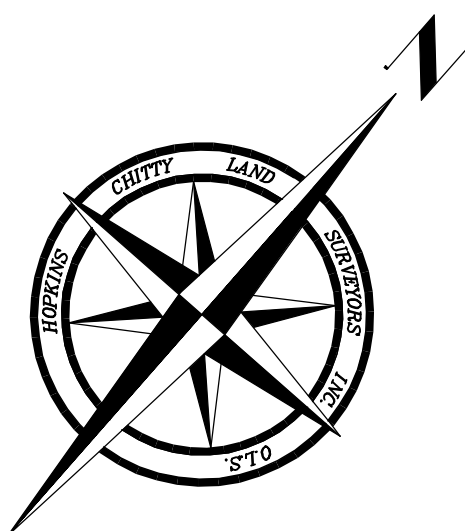
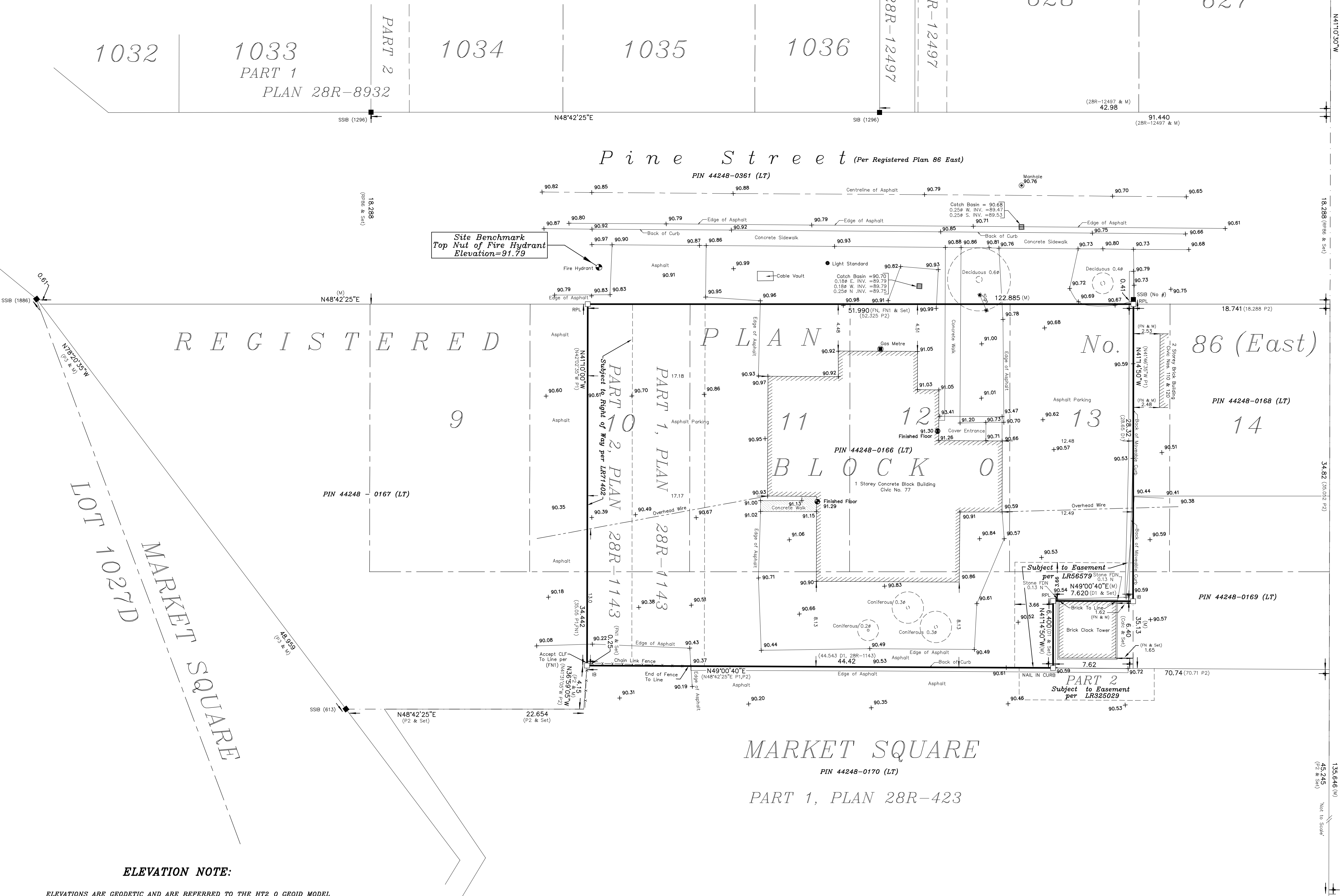
PLAN of SURVEY of
LOTS 11 & 12, Part of LOTS 10 & 13 and Part of MARKET SQUARE
BLOCK 'O', REGISTERED PLAN 86 (EAST OF THE GANANOQUE RIVER)
TOWN OF GANANOQUE

COUNTY of LEEDS

SCALE=1:200



HOPKINS CHITTY LAND SURVEYORS INC.
-2025-



BEARING NOTE:

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 18, NAD83 (CSRS) (2010)
FOR BEARING COMPARISONS, A ROTATION OF 0°28'25" CLOCKWISE WAS APPLIED TO BEARINGS ON (P1) AND (P2).
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.998696.
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND:

- SSIB'S PLANTED DUE TO INSUFFICIENT OVERBURDEN
- denotes Planted Survey Monument
- Found Survey Monument
- SSIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- RB Rock Bar
- RPL Rock Plug
- (WIT) Witness
- (M) Measured
- (SM) Original Stone Monument
- (OU) Origin Unknown
- (1296) Ronald H. Smith-O.L.S.
- (1641) Collett, Jordan & Wiseman - O.L.S.
- (1886) Hopkins Chitty Land Surveyors Inc.-O.L.S.
- (P1) Reference Plan 28R-1143
- (P2) Reference Plan 28R-423
- (P3) Plan by (1886) dated June 24, 2022
- (D1) Instrument No. LR56579
- (FN) Field Notes by (1296) dated May 13, 1985
- (FN1) Field Notes by (1296) dated July 16, 1986

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:
1. This Survey and Plan are correct and in accordance with the SURVEYS ACT, the SURVEYORS ACT, and the REGULATIONS made under them.
2. The SURVEY was completed on the 16th day of October, 2025.

DATE: OCTOBER 16, 2025

PHIL W. CHITTY O.L.S.

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-120799

Party Chief: TJ Instrument: CH Checked By: PWC Plan By: PWC/PP



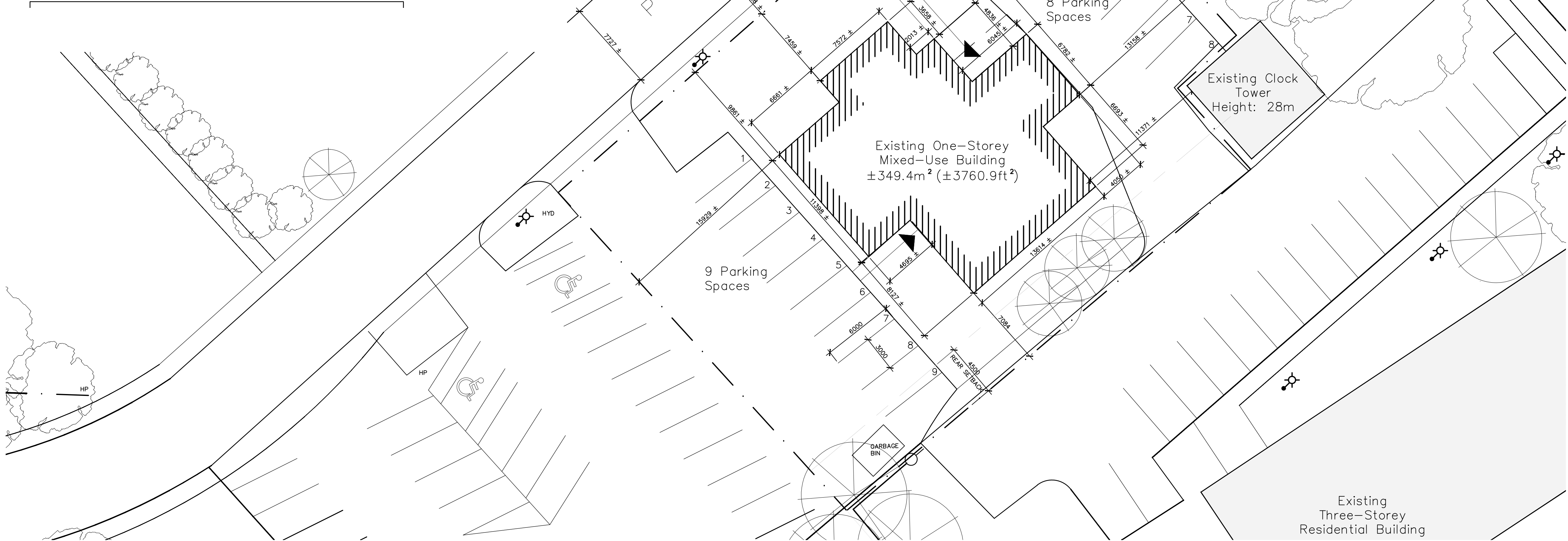
HOPKINS CHITTY LAND SURVEYORS INC.
Ontario Land Surveyors
www.hopkinschitty.com
1224 GARDINERS ROAD, SUITE 102
KINGSTON, ONTARIO K7P-0G2
Tel: (613) 384-9266
Fax: (613) 384-3513
PROJECT No. 2025-0583
LOTS 10 TO 13, MARKET SQUARE
BLOCK 'O', REGISTERED PLAN 86
TOWN OF GANANOQUE

ELEVATION NOTE:

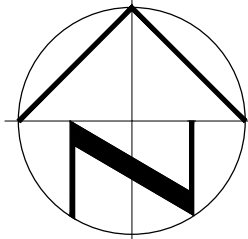
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE HT2.0 GEOID MODEL BEING A PRODUCT OF THE GEODETIC SURVEY DIVISION (GSD) OF NATURAL RESOURCES CANADA, DERIVED FROM RTN OBSERVATIONS. THE ELEVATIONS ARE REFERRED TO A SITE BENCHMARK BEING THE TOP OF NUT OF FIRE HYDRANT NEAR THE NORTHWEST CORNER OF THE SUBJECT LANDS HAVING AN ELEVATION OF 91.79 (CGVD28).

| SITE STATISTICS | | | |
|--------------------------------------|--|---|--|
| LOWERTOWN - MIXED USE | | | |
| CLAUSE FROM GANANOQUE ZONING BY-LAWS | PROVISION | COMPLIANCE: EXISTING (NOTE: ALL COMPLIANCES ARE PLUS/MINUS) | COMPLIANCE: PROPOSED |
| 4.1 | PERMITTED USES | THERE IS AN EXISTING ONE-STOREY BUILDING AT THE CENTRE OF THE PROPERTY WHICH CONTAINS A DENTAL CLINIC AND RENTAL OFFICE SPACE. | |
| 3.32. | PARKING REQUIREMENTS: | THE CURRENT BUILDING, UNDER 'GENERAL BUSINESS' USE, WOULD REQUIRE 17 PARKING SPACES BASED ON 1 SPACE PER 20 SQ.M./ GROSS FLOOR AREA. THERE ARE CURRENTLY 17 REGULAR SPACES WITHIN THE PROPERTY LINES. | THE PROPOSED BUILDING, UNDER 'GENERAL BUSINESS' USE, WOULD ADD 3 SPACES. 1 PER 20 SQ.M. OF THE PROPOSED ADDITION. WE ARE PROVIDING 20 PARKING SPACES INCLUDING COMPLETE BARRIER FREE PARKING SPACES. |
| 4.2 | LOT COVERAGE: 75% MAXIMUM | 19.1% | 24.4% |
| 4.2 | MINIMUM LOT AREA: 232 sq.m. (2,497 sq ft.) | 349.4 sq.m. | NO CHANGE |
| 4.2 | MINIMUM LOT FRONTAGE: 7.5 m (24.6 ft) | 51.3 m | NO CHANGE |
| 4.2 | MINIMUM FRONT YARD SETBACK DEPTH: 0 m | 4.534 m | 4.534 m |
| 4.2 | MINIMUM INTERIOR SIDE YARD SETBACK DEPTH: 0 m | 12.588 m | 12.588 m |
| 4.2 | MINIMUM EXTERIOR SIDE YARD SETBACK DEPTH: 0 m | 17.205 m | 15.537 m |
| 4.2 | MINIMUM REAR YARD SETBACK DEPTH: 4.5 m (14.8 ft) | 8.125 m | 6.833 m |
| 4.2 | MAXIMUM BUILDING HEIGHT: 12.0 m (39.4 ft) | 4 m | 6.2 m |

| SITE AREAS | EXISTING | PROPOSED | |
|-------------------|---------------------------|--------------------------|-------------------------|
| ASPHALT | ±996.82m² (±10729.79ft²) | ±853.06m² (±9182.26ft²) | -143.76m² (-1547.53ft²) |
| CONCRETE SIDEWALK | ±35.67m² (±383.95ft²) | ±129.78m² (±1396.94ft²) | +94.11m² (+1012.99ft²) |
| SUBTOTAL: | ±1032.49m² (±11113.63ft²) | ±982.84m² (±10579.20ft²) | -56.23m² (-605.29ft²) |
| LANDSCAPING | ±365.38m² (±3932.91ft²) | ±339.15m² (±3650.58ft²) | -26.23m² (-282.33ft²) |
| BUILDING AREA | ±349.4m² (±3760.98ft²) | ±426.9m² (±4591.98ft²) | +77.2m² (+830.97ft²) |
| TOTAL | ±1748.71m² (±18822.98ft²) | NO CHANGE | |



1 Site Plan
A020 1:200



Project North
Certificate of Practice Number: 2438
4 Cataragui Street, Suite 206, Kingston, ON
tel: 613-541-0776 fax: 613-541-0804
mail@szaarch.com www.szaarch.com

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Legend:

- FIRE ACCESS ROUTE
- PROPOSED ADDITION
- EXISTING TO REMAIN
- GRAVEL PAVEMENT
- LANDSCAPING (CONIFEROUS AND DECIDUOUS TREES)
- LIGHT STANDARD
- INTERNATIONAL SYMBOL OF ACCESSIBILITY
- CATCH BASIN
- HYDRO POLE
- FIRE HYDRANT
- MANHOLE COVER
- SETBACK
- PROPERTY LINE
- FENCE LINE
- EXISTING TO REMAIN

| | | |
|----------|------------------------------------|------------|
| 3 | SUBMITTED FOR DEVELOPMENTAL REVIEW | 2025-11-04 |
| 2 | FOR REVIEW | 2025-10-28 |
| 1 | FOR REVIEW | 2025-10-14 |
| Revision | Description | Date |

Project
Addition and Renovation

Location
77 Pine Street
Gananoque, Ontario

Client
772663 Ontario Limited

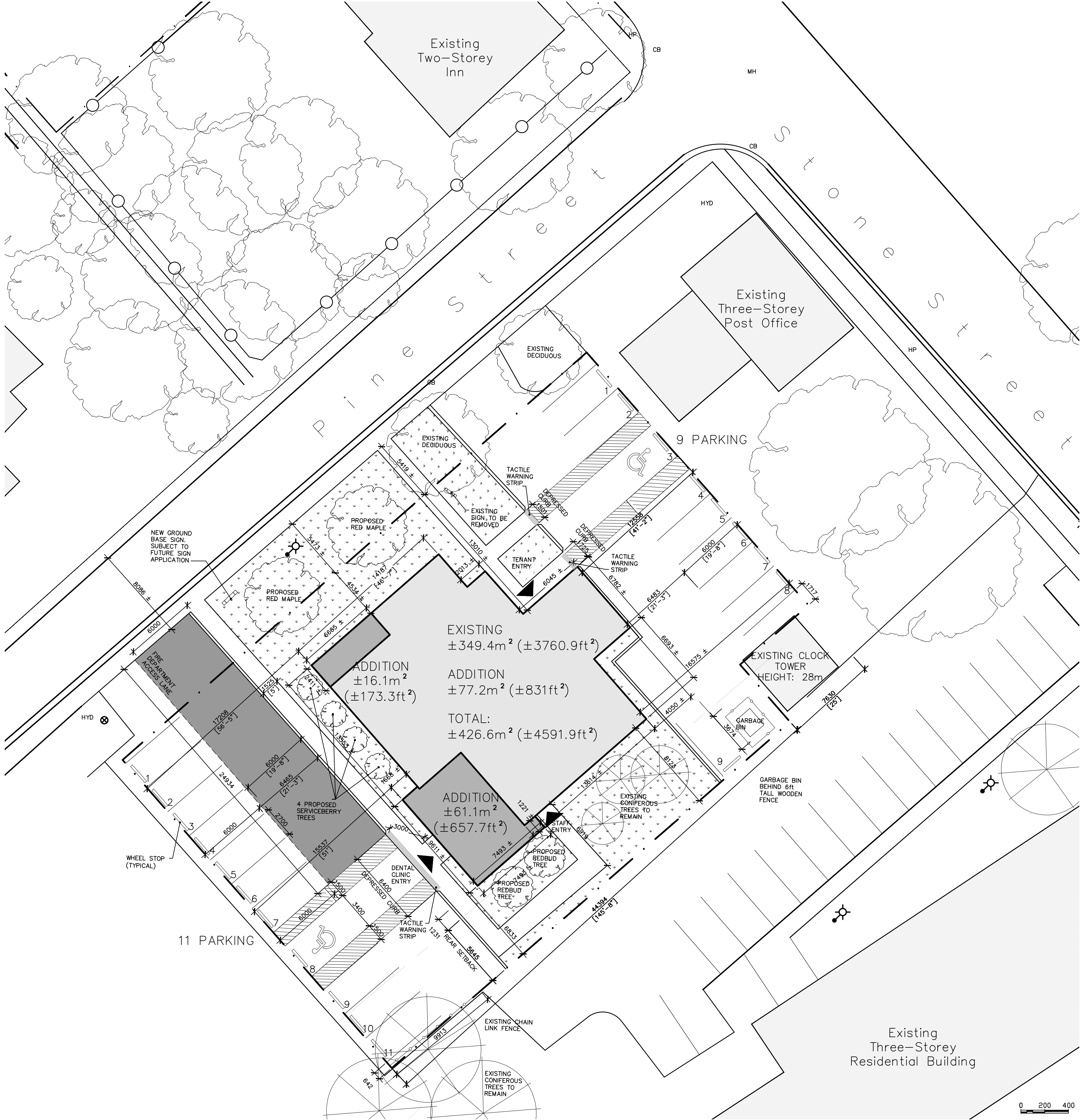
Drawing
Existing Site Plan

| | |
|-----------------------------------|------------------------|
| Drawn by DQ | Date 01 April 2021 |
| File Name 21015-A020-Site Plan | Scale |
| Client Project # 21015 | Drawing Number A020 |

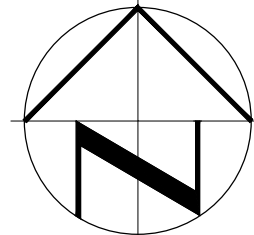
| SITE STATISTICS | | | |
|--------------------------------------|---|---|---|
| LOWERTOWN - MIXED USE | | | |
| CLAUSE FROM GANANOQUE ZONING BY-LAWS | PROVISION | COMPLIANCE: EXISTING (NOTE: ALL COMPLIANCES ARE PLUS/MINUS) | COMPLIANCE: PROPOSED |
| 4.1 | PERMITTED USES | THERE IS AN EXISTING ONE-STORY BUILDING AT THE CENTRE OF THE PROPERTY WHICH CONTAINS A DENTAL CLINIC AND RENTAL OFFICE SPACE. | |
| 3.32. | PARKING REQUIREMENTS: | THE CURRENT BUILDING, UNDER 'GENERAL BUSINESS' USE, WOULD REQUIRE 17 PARKING SPACES BASED ON 1 SPACE PER 20 SQ.M./ GROSS FLOOR AREA. THERE ARE CURRENTLY 17 REGULAR SPACES WITHIN THE PROPERTY LINES. | THE PROPOSED BUILDING, UNDER 'GENERAL BUSINESS' USE, WOULD ADD 3 SPACES. 1 PER 20 SQ.M OF THE PROPOSED ADDITION. WE ARE PROVIDING 20 PARKING SPACES INCLUDING COMPLETE BARRIER FREE PARKING SPACES. |
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| 4.2 | MINIMUM LOT FRONTAGE: 7.5 m (24.6 ft.) | 51.3 m | NO CHANGE |
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| 4.2 | MINIMUM INTERIOR SIDE YARD SETBACK DEPTH: 0 m | 12.588 m | 12.588 m |
| 4.2 | MINIMUM EXTERIOR SIDE YARD SETBACK DEPTH: 0 m | 17.205 m | 15.537 m |
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| CONCRETE SIDEWALK | ±35.67m² (±383.95ft²) | ±129.78m² (±1396.94ft²) | +94.11m² (+1012.99ft²) |
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| BUILDING AREA | ±349.4m² (±3760.9ft²) | ±426.6m² (±4591.9ft²) | +77.2m² (+830.97ft²) |
| TOTAL | ±1748.71m² (±18822.96ft²) | NO CHANGE | |

PROPOSING THE ADDITION OF 8 TREES: 2 RED MAPLE, 4 SERVICEBERRY AND 2 REDBUD



1 Site Plan
A021 1:200



Project North
Certificate of Practice Number: 2438
4 Cataragui Street, Suite 206, Kingston, ON
tel: 613-541-0776 fax: 613-541-0804
mail@szaarch.com www.szaarch.com
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- Legend:
- FIRE ACCESS ROUTE
 - PROPOSED ADDITION
 - EXISTING TO REMAIN
 - GRAVEL PAVEMENT
 - LANDSCAPING (CONIFEROUS AND DECIDUOUS TREES)
 - LIGHT STANDARD
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY
 - CATCH BASIN
 - HYDRO POLE
 - FIRE HYDRANT
 - MANHOLE COVER
 - SETBACK
 - PROPERTY LINE
 - FENCE LINE
 - EXISTING TO REMAIN

| | | |
|----------|----------------------------------|------------|
| 3 | SUBMITTED FOR DEVELOPMENT PERMIT | 2025-11-04 |
| 2 | FOR REVIEW | 2025-10-28 |
| 1 | FOR REVIEW | 2025-10-14 |
| Revision | Description | Date |

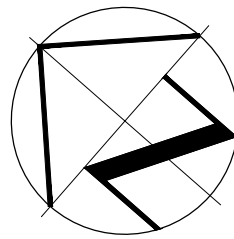
Project
Addition and Renovation

Location
77 Pine Street
Gananoque, Ontario

Client
772663 Ontario Limited

Drawing
Proposed Site Plan

| | |
|-----------------------------------|------------------------|
| Drawn by CH | Date 2025-10-14 |
| File Name 21015-A020-Site Plan | Scale 1:200 |
| Client Project # 21015 | Drawing Number A021 |



| | | |
|----------|----------------------------------|------------|
| 2 | SUBMITTED FOR DEVELOPMENT PERMIT | 2025-11-04 |
| 1 | FOR REVIEW | 2025-10-14 |
| Revision | Description | Date |

Project
Addition and Renovation

Location
77 Pine Street
Gananoque, Ontario

Client
772663 Ontario Limited

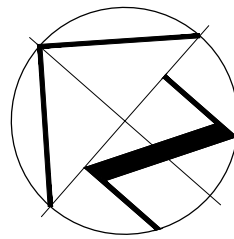
Drawing
Existing Plan

| | |
|---------------------------|------------------------|
| Drawn by CS | Date 2024-01-17 |
| File Name 21015-A100 | Scale 1:50 |
| Client Project # 21015 | Drawing Number A100 |

Project #
21015

Revision #
1

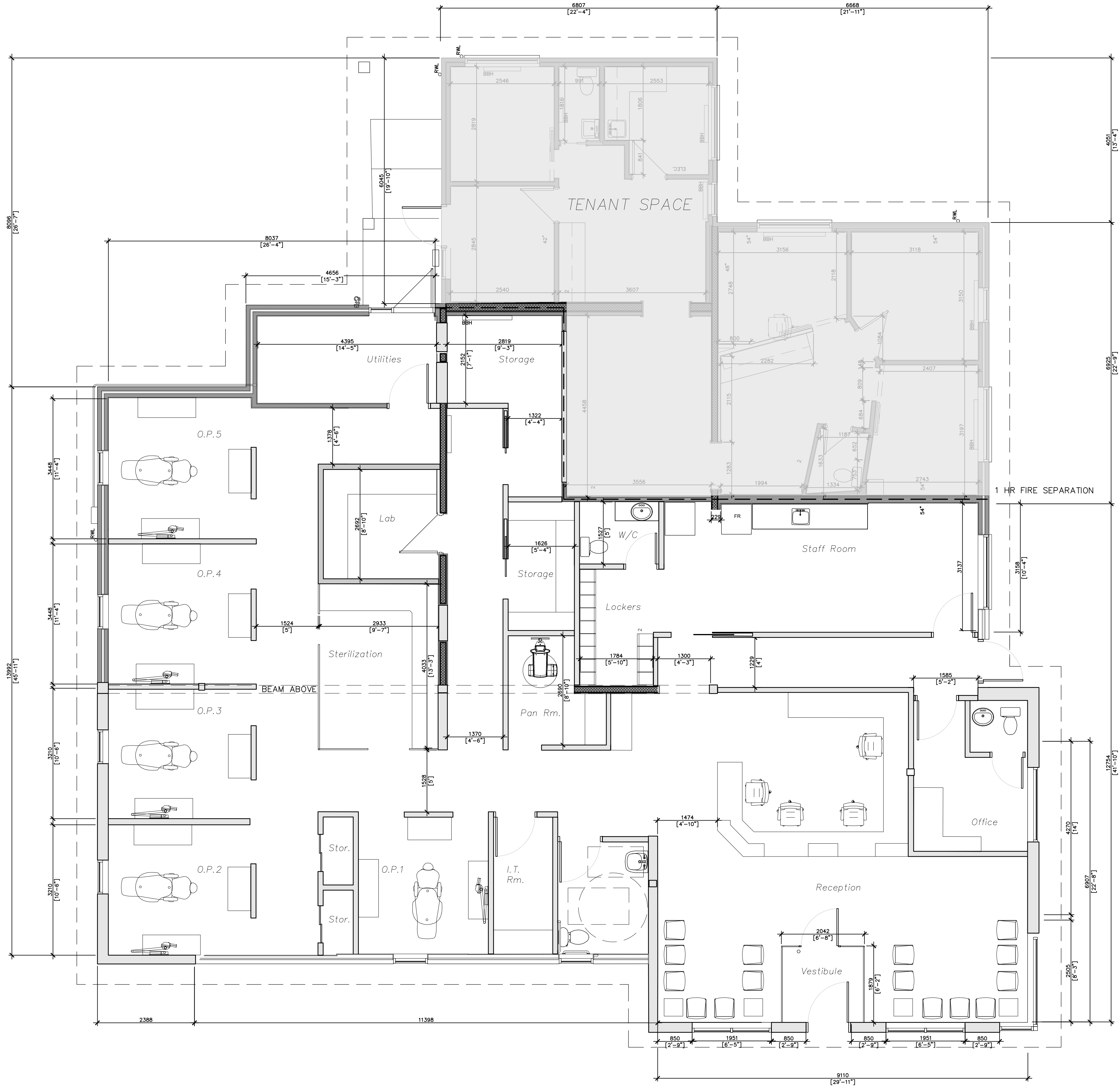
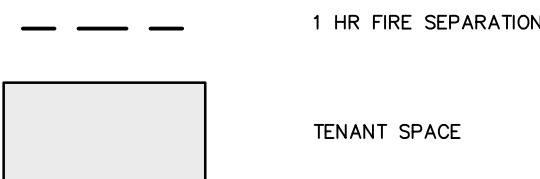
A100



Project North
Certificate of Practice Number: 2438
4 Cataract Street, Suite 206, Kingston, ON
tel: 613-541-0776 fax: 613-541-0804
mail@szaarch.com www.szaarch.com

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Legend:



| | | |
|----------|----------------------------------|------------|
| 2 | SUBMITTED FOR DEVELOPMENT REVIEW | 2025-11-04 |
| 1 | FOR REVIEW | 2025-10-14 |
| Revision | Description | Date |

Project
Addition and Renovation

Location
77 Pine Street
Gananoque, Ontario

Client
772663 Ontario Limited

Drawing
Proposed Plan: Ground Floor

| | |
|---------------------------|------------------------|
| Drawn by CH | Date 2025-09-29 |
| File Name 21015-A100 | Scale 1:50 |
| Client Project # 21015 | Drawing Number A101 |

Project #
21015

Revision #
1

A101



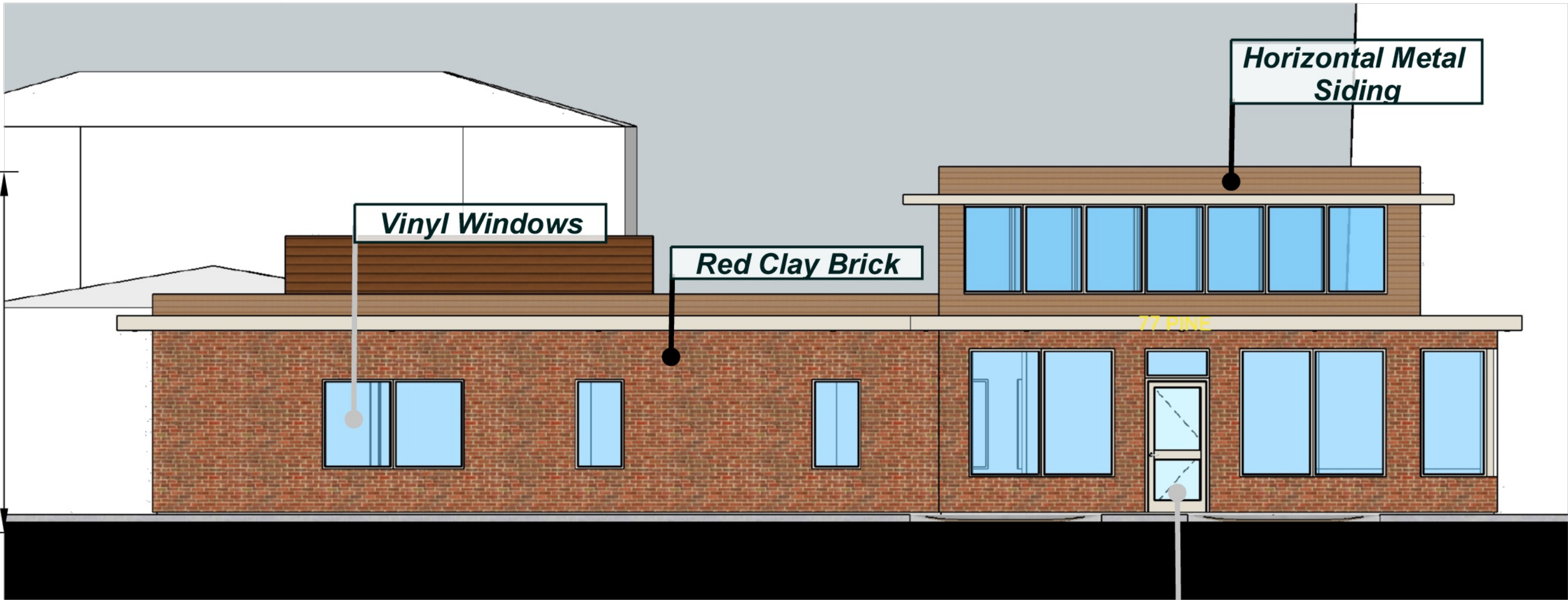
1

North Elevation

A200

3/32" = 1'-0" (1:128)

Red Clay Brick - Similar to adjacent historical clay bricks



2

West Elevation

A200

3/32" = 1'-0" (1:128)

Aluminum Door



3

South Elevation

A200

3/32" = 1'-0" (1:128)

Aluminum Door

Horizontal Metal Siding



4

East Elevation

A200

3/32" = 1'-0" (1:128)

Horizontal Metal Siding

Aluminum Door

All lights are downlights located in overhead

| | | |
|-------------------------|----------------------------------|----------------|
| 3 | SUBMITTED FOR DEVELOPMENT PERMIT | 2025-11-04 |
| 2 | FOR REVIEW | 2025-10-28 |
| 1 | FOR REVIEW | 2025-10-14 |
| Revision | Description | Date |
| Project | | |
| Addition and Renovation | | |
| Location | | |
| 77 Pine Street | | |
| Gananoque, Ontario | | |
| Client | | |
| 772663 Ontario Limited | | |
| Drawing | | |
| Proposed Elevations | | |
| Drawn by | | Date |
| CH | | 2025-10-14 |
| File Name | | Scale |
| 21015-A020-Site Plan | | 1:200 |
| Client Project # | | Drawing Number |
| Project # | | Revision # |
| 21015 | | 1 |
| | | A200 |





















77 Pine Street - Renders

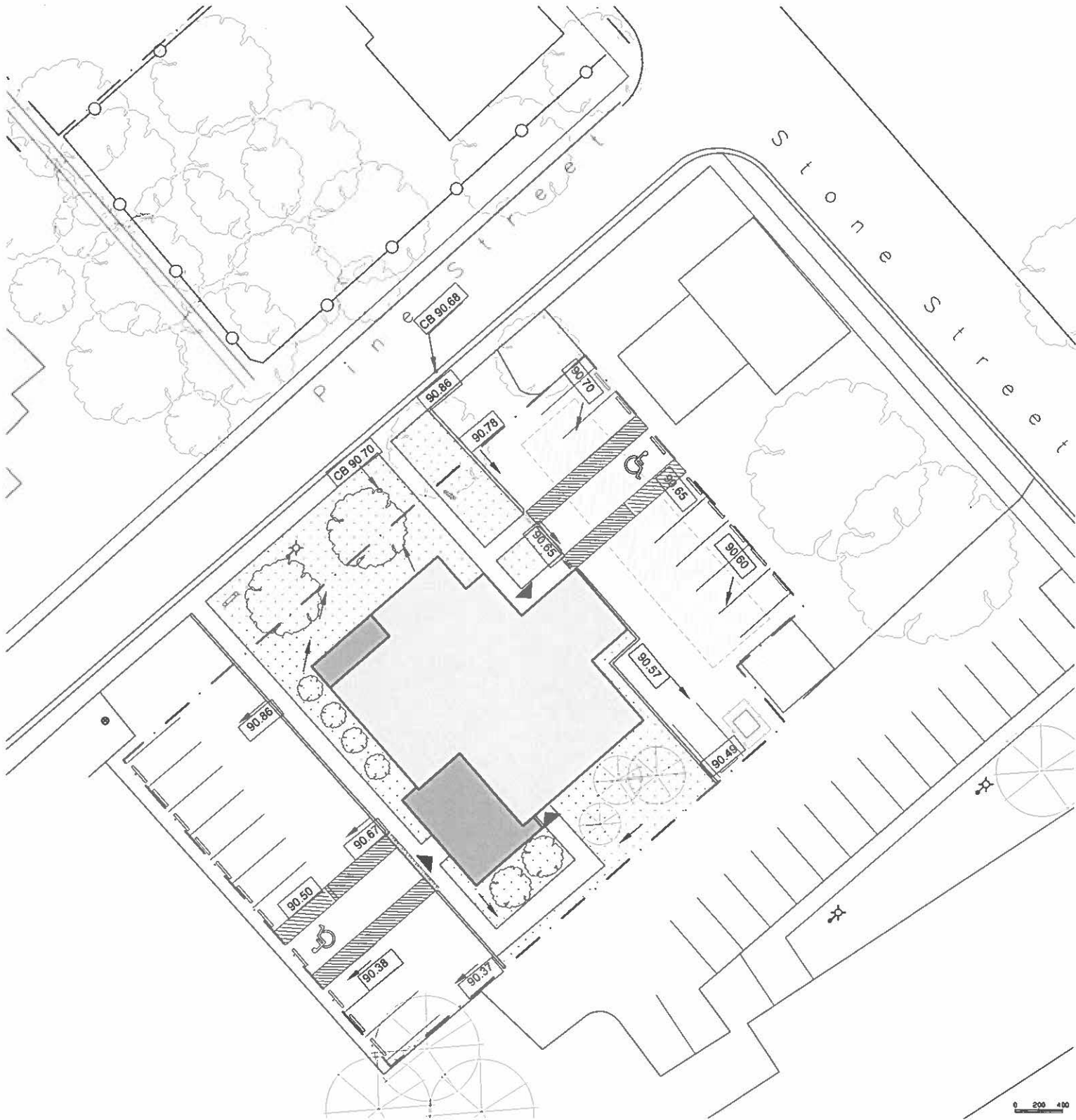


Civil Engineer Notes:

1. FIX BROKEN ASPHALT NORTH OF BUILDING
2. ELEVATE ASPHALT WEST OF CLOCK TOWER TO PREVENT WATER PONDING
3. ALL OF ASPHALT ELEVATIONS (EXCEPT NOTE 2) ARE EXISTING ELEVATIONS AS PER PLAN OF SURVEY DRAWING

Legend:

-  FIRE ACCESS ROUTE
-  FIX PAVEMENT
-  PROPOSED ADDITION
-  EXISTING TO REMAIN
-  GRAVEL PAVEMENT
-  LANDSCAPING (CONIFEROUS AND DECIDUOUS TREES)
-  LIGHT STANDARD
-  INTERNATIONAL SYMBOL OF ACCESSIBILITY
-  CATCH BASIN
-  HYDRO POLE
-  FIRE HYDRANT
-  MANHOLE COVER
-  SETBACK
-  PROPERTY LINE
-  FENCE LINE
-  EXISTING TO REMAIN

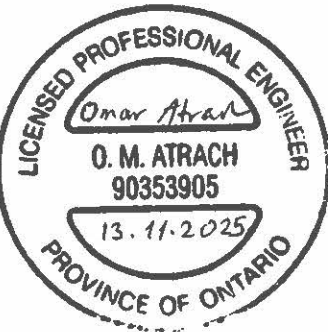


1 Civil Site Plan
A021 1:200



Project North
Certificate of Practice Number: 2438
4 Calumet Street, Suite 205, Kingston, ON K7K 1Z7
Tel: 613-541-0775 Fax: 613-541-3865
www.szaarch.com
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construction from the information shown on these drawings without written
approval of the Architect is solely the responsibility of the Contractor.

Omar Atrach Civil Engineer



| | | |
|---|----------------------------------|------------|
| 4 | SUBMITTED FOR DEVELOPMENT PERMIT | 2025-11-12 |
| 3 | SUBMITTED FOR DEVELOPMENT PERMIT | 2025-11-04 |
| 2 | FOR REVIEW | 2025-10-28 |
| 1 | FOR REVIEW | 2025-10-14 |

Revision Description Date
Project Addition and Renovation

Location
77 Pine Street
Gananoque, Ontario

Client
772663 Ontario Limited

Drawing
Proposed Site Plan

| | |
|-----------------------------------|------------------------|
| Drawn by CH | Date 2025-10-14 |
| File Name 21015-A021-Site Plan | Scale 1:200 |
| Client Project # 21015 | Drawing Number A021 |

PLANNING REPORT

TO: PLANNING ADVISORY COMMITTEE

FROM: PLANNING AND DEVELOPMENT

MEETING DATE: TUESDAY, DECEMBER 9, 2025

SUBJECT: OPA8-25 Amended & DP2025-15 Amended – 145 RIVER STREET
GAN FITNESS

Background:

Property: 145 RIVER STREET

Legal Description: PLAN 86 PT LOT 476 PT LOT;477 PT LOT 478 PT LOT 479
RP 28R8089 PART 1

Official Plan: RESIDENTIAL

Development Permit: RESIDENTIAL

Purpose and Effect:

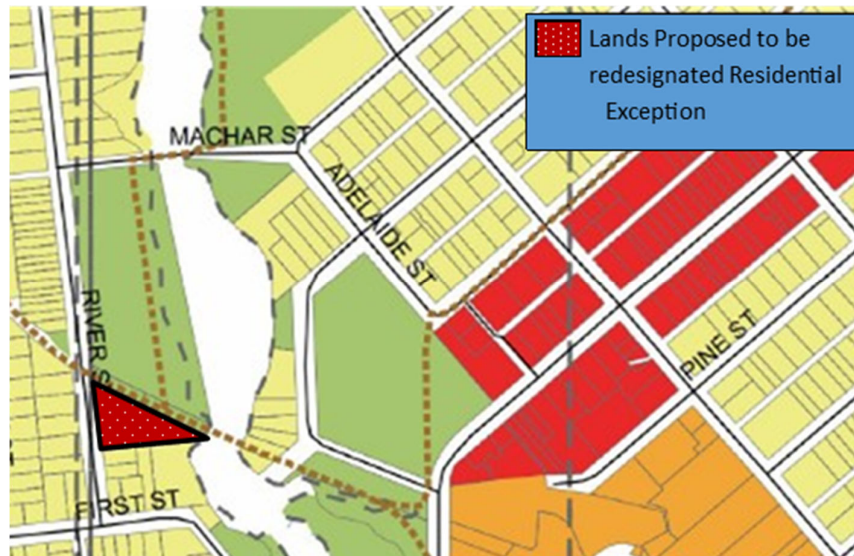
The applicant is seeking an Official Plan Amendment to redesignate the lands from Residential to Residential Exception for the use of a Private Community Fitness Facility to include a fitness centre, kayak rentals (no launching) and e-bike rentals promoting a community health hub.

The property is presently used as a flea market primarily operating on weekends and holidays. The proposed change is to convert an existing one storey commercial building which currently enjoys a legal non-conforming use. Two additions are being proposed on the site.

Site Background and Proposal:

The subject property is approximately 2,640m² and is municipally located at 145 River Street, east side of River Street along the Gananoque River. The property is within the residential designation surrounding by single family dwellings, townhouses and open space areas (Lions' Trail, dog park and Steel Workers Park).

It is proposed that the entire existing building will be converted for the proposed Private Community Fitness Facility. The proposal includes two additions - 31m² addition on the south side at the current entrance of the building to be constructed upon approvals and a two-storey addition 210m² at the rear of the building to be constructed and operational within 1-2 years. Parking is located to the south and rear of the existing building.



A Development Permit application, File DP2025-13 Amended, to redesignate the property from the Residential to a site specific Residential Exception is concurrent to the Official Plan Amendment.

PROVINCIAL PLANNING STATEMENT:

The Provincial Planning Statement, 2024 (PPS) provides direction on matters of provincial interest pertaining to land use planning and all development proposals must be consistent with the policies therein. The full PPS document can be found at <https://www.ontario.ca/page/provincial-planning-statement-2024>. Policies which repeat or are not relevant to the current proposal have been omitted from commentary below.

2.1 Planning for People and Homes

6. Planning authorities should support the achievement of *complete communities* by:
- a) accommodating an appropriate range and mix of land uses, *housing options*, transportation options with *multimodal* access, employment, *public service facilities* and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs.

2.3 Settlement Areas and Settlement Area Boundary Expansions

2.3.1 General Policies for Settlement Areas

1. *Settlement Areas* shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, *strategic growth areas*, including, *major transit station areas*.
2. *Land use patterns within settlement areas* should be based on *densities* and a mix of *land uses* which:
 - a) efficiently use land and resources;
 - b) optimize existing and planned *infrastructure* and *public service facilities*;
 - c) support *active transportation*;
3. Planning authorities shall support general *intensification* and *redevelopment* to support the achievement of *complete communities*, including by planning for a range and mix of *housing options* and prioritizing planning and investment in the necessary *infrastructure* and *public service facilities*.

2.4 Strategic Growth Areas

2.4.1 General Policies for Strategic Growth Areas

1. Planning authorities are encouraged to identify and focus growth and development in *strategic growth areas*.
2. To support the achievement of *complete communities*, a range and mix of *housing options*, *intensification* and more mixed-use development, *strategic growth areas* should be planned:
 - a) to accommodate significant population and employment growth;
 - b) to focal areas for education, commercial, recreational, and cultural uses;
3. Planning authorities should:
 - c) permit development and intensification in strategic growth areas to support the achievement of complete communities and a compact built form;

2.8 Employment

2.8.1 Supporting a Modern Economy

1. Planning authorities shall promote economic development and competitiveness by:
 - a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;
 - b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;
- d) encouraging intensification of employment uses and compatible, compact, mixed-use development to support the achievement of complete communities;

3.6 Sewage, Water and Stormwater

2. *Municipal sewage services* and *municipal water services* are the preferred form of servicing for *settlement areas* to support protection of the environment and minimize potential risks to human health and safety.
8. Planning for stormwater management shall:
 - b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads;
 - c) minimize erosion and changes in water balance including through the use of *green infrastructure*;
 - d) mitigate risks to human health, safety, property and the environment;
 - e) maximize the extent and function of vegetative and pervious surfaces;

3.9 Public Spaces, Recreation, Parks, Trails and Open Space

1. Healthy, active, and inclusive communities should be promoted by:
 - b) planning and providing for the needs of persons of all ages and abilities in the distribution of a full range of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources;

4.2 Water

2. *Development* and *site alteration* shall be restricted in or near *sensitive surface water features* and *sensitive ground water features* such that these features and

their related *hydrologic functions* will be protected, improved or restored, which may require mitigative measures and/or alternative development approaches.

5.2 Natural Hazards

2. Development shall generally be directed to areas outside of:
 - b) *hazardous lands* adjacent to *river, stream and small inland lake systems* which are impacted by *flooding hazards* and/or *erosion hazards*.

COMMENT:

The PPS defines a complete community as “places such as mixed-use neighbourhoods or other areas within cities, towns, and *settlement areas* that offer and support opportunities for equitable access to many necessities for daily living for people of all ages and abilities, including an appropriate mix of jobs, a full range of housing, transportation options, *public service facilities*, local stores and services. *Complete communities* are inclusive and may take different shapes and forms appropriate to their contexts to meet the diverse needs of their populations.”

The proposal considers the reuse of an existing commercial building adjacent to existing residential and open space areas (Lions Trail, Steelworkers Park and the Gananoque River) and supports local employment.

A Stormwater Management Plan was provided as part of the submission and will be reviewed with the Official Plan Review.

OFFICIAL PLAN:

“*The Town of Gananoque Official Plan is an essential planning document which is designed to manage future growth, development and change in the Town. The Official Plan provides a framework which will guide land use decisions within the Town’s boundaries.*” The Official Plan was adopted by By-law 2009-39 on September 15, 2009. The Town is currently underway with a draft Official Plan.

The request of the Official Plan Amendment Application is to redesignate the lands from Residential to a site-specific Residential designation permitting a Private Community Fitness Facility.

Section 3.2 introduces the residential designation as, “Gananoque’s residential neighborhoods range from heritage homes in the Lowertown district, to apartment dwellings in multi storey buildings, to single dwelling subdivisions, to mixed use buildings with local commercial, schools and residential uses.”

3.2.1 Residential - Goals and Objectives

The goal of the Residential Designation is to “Promote a balanced supply of housing to meet the present and future social and economic needs of all segments of the community while providing opportunities to develop new residential uses in mixed use buildings as well as non-residential neighbourhood components such as schools, community facilities, places of worship, parks and local commercial uses.”

3.2.2.3 Non-Residential Uses

Local commercial uses such as small local retail plazas and convenience stores, schools, places of worship and community facilities are permitted in the Residential Policy Area. Proposed non-residential uses shall be reviewed to ensure compatibility with the existing residential neighbourhood. Proponents shall provide sufficient evidence to ensure that new development will not result in increased neighbourhood traffic, noise or other emissions and will contribute to the quality of life for local residents. In all cases the scale and architectural design of any new development shall be consistent with the local neighbourhood.

3.2.2.4 Compatibility

Ensure that all new development, including infill residential development in existing neighbourhoods, maintains and enhances the surrounding area and is compatible with respect to built form, scale, urban design, intensity of use and streetscape.

4.0 Making it Work – Our Infrastructures

Section 4.0 provides that any infrastructure related to the construction and maintenance shall be taken into consideration when reviewing applications.

Section 4.1.4.1 identifies that stormwater management is required for all new development.

5.3.2 Existing Land Uses and Non-Conforming Uses

Existing uses which do not conform to the relevant provisions contained in this Plan shall be deemed non-conforming uses. The long-term objective of this Plan is to relocate, eliminate, or replace these non-conforming uses with uses which are permitted in the relevant land use designation.

5.4.4 Development Criteria

Councils shall consider development criteria when reviewing the compatibility and appropriateness of any new development or redevelopment, when considering amendments to the Zoning By-law (Development Permit By-law).

5.4.10.6 Discretionary Uses

The Official Plan identifies that the Development Permit By-law may provide that a development permit may be issued to permit, as a discretionary use, an extension to a legal nonconforming use or change in use of a legal non-conforming use, provided that the proposal is desirable in order to avoid hardship, that it would have no negative impact on adjoining properties, and that it would maintain the intent, objectives, principles and policies of this Plan.

5.9.5 Brownfield Redevelopment

Brownfield sites are undeveloped or previously developed properties that may be contaminated. They are usually, but not exclusively, former industrial or commercial properties that may be underutilized, derelict or vacant.

6.0 Amendments to this Official Plan

Section 6.1 identifies that amendments to the Official Plan shall be considered in conjunction with other policies within the Plan. Proposed amendments shall consider the following:

1. the impact of the proposed change on the achievement of the stated goals, objectives and policies expressed in this Plan;
2. the need for the proposed change;
3. the effect of the proposed change on the need for public services and facilities.

In addition, when considering amendments which affect the use of a specific site or sites, Council shall consider:

1. whether there is a need to add the site or sites to the lands already designated for the proposed use;
2. the physical suitability of the land for the proposed use.



View of the south side of the building

COMMENT:

Section 6.1 provides how the Town should consider amendments citing the impact, need and effect of the proposed change. Staff are required to review and provide opinions based on submissions against the policies that are adopted. Land use planning is about the land not the people applying for the change or current ownership. Any change or redesignation remains with the lands not with ownership.

As noted under previous reports, Staff eluded that there were two areas that may be considered provided the applications offer justification for the proposed use. To that, an updated Planning Rationale was received and staff are reviewing in accordance to our Official Plan for a Residential Exception designation.

Turning to the policies under 6.1 for amendments to the Official Plan, the rationale provides for policies within the Residential designation that the non-residential use will support the local community and further provides that given the existing legal non-conforming use of a flea market, it suggests that the presence of commercial is currently present. The planning rationale further provides that the new use “is not anticipated to result in negative impacts to the surrounding residential neighbourhood”.

Section 3.2 entitled Where we Live – Planning Sustainable Residential Neighbourhoods cites that the intent of the designation is to preserve and consolidate existing residential neighbourhoods and to provide for new residential opportunities through intensification and redevelopment of vacant buildings to allow a mix of commercial and residential uses.

It is reasonably expected that a Residential designation focuses on various types of residential and residential intensification from low density to high density. These are the areas where we live which considers residents and neighbourhood compatibility.

Staff appreciate that this specific property given the size, the existing/physical building and flexibility for an addition, provides for an ideal site for the proposed use. However, in order to consider the use within a site-specific designation, the applicant shall provide sufficient evidence cited for non-residential uses within the Residential designation (Section 3.2.2.3) include:

- Proponents shall provide sufficient evidence to ensure that new development will not result in increased neighbourhood traffic, noise or other emissions and will contribute to the quality of life for local residents.
- In all cases the scale and architectural design of any new development shall be consistent with the local neighbourhood.

The residential designation provides for activities that are non-residential or accessory in nature to the primary use of a dwelling unit. These uses include churches, schools, parks, home occupations which are owner-occupied (bed and breakfasts, home-based businesses). Generally, these are low key activities or within the accompaniment of the property owner to mitigate any risk of neighbourhood issues. To that, there are parameters in place to consider the intensity of an activity within the designation. For example, in 2019 the Town was taken to the Land Tribunal for Short Term Accommodations due to its' strong regulations and the requirement that Short Term Accommodations be owner-occupied in an effort to protect the neighbourhoods where people live and to maintain rental units. The Town was successful in this regard.

For a non-residential designation, Staff would seek supporting rationale as to how a private community fitness facility can operate while respecting the intent of where we live. Given there is no definition in the Official Plan, it is suggested that Local Commercial could mean activities that provide services meeting the needs of the residents, on a small-scale level, and typically not servicing people from outside the community. It could also be related to the Provincial Policy Statement on their definition of a complete community. The planning rationale has identified that the Private Community Fitness Centre provides classes for adults and sport-specific training, partnering with community organizations such as Community Living and Ventures Group Home suggesting that the Centre is community based and not wholly defined on membership.

- Does the proposed private community fitness facility provide a local commercial service that fits the residential neighbourhood?
- Does the proposed private community fitness facility provide a local commercial service similar to that of schools, parks, home occupations or churches?
- Does the proposed private community fitness facility, if it is a company such as Planet Fitness or Fit4Less, still fit the residential neighbourhood?

The applicant has referenced in the submitted Planning Rationale that the proposed use will serve a diverse demographic, provides support services to local organizations such as community living and is involved with the community on local events for all. The new space will allow opportunity to expand activities, partner with youth organizations filling a

gap in the community. To that, the applicant maintains that the facility should not be compared to fitness chains given the range of activities it will provide. The use should be consider a community hub which can equate to a location for gathering.

The above includes the evaluation of traffic to/from the building, illumination, noise etc. The current use operates primarily on weekends on holidays. The property is likely to see increased activity in traffic on a daily basis during business hours (Daily 5am to 9:30pm) although likely more sporadic over the course of the day. It is proposed that users are provided with fobs which are functional only work during business hours. The submission noted that there is *“No adverse impacts to the surrounding road network or adjacent land uses are anticipated as a result of the proposed development”*.

The site is municipally serviced and there is no further changes anticipated to the site. Public Works has noted that compliance is required under the backflow prevention program for the change of use.

A Stormwater Management Report was previously submitted which was been peer reviewed by Jewell Engineering and the CRCA for stormwater quantity. A number of items were highlighted from both agencies that required further review and clarification. The applicant has provided updated information in regards to the previous comments which have been circulated to Jewell Engineering and the CRCA. The reports and peer review do not suggest that there is an objection to the proposed use from a stormwater management perspective. A few outstanding items are required to be addressed and this would remain a condition of approval.



Development Criteria as set out in the Official Plan for new or redevelopment will be reviewed under the Development Permit review.

DEVELOPMENT PERMIT:

The subject property is currently designated Residential in the Development Permit By-law which does not permit a Private Community Fitness Facility as proposed. Therefore, consideration of an amendment to the Development Permit By-law is required. The applicant is seeking to redesignate the land from the Residential to a site specific Residential use.



Areas of Proposed Additions

5.3 RESIDENTIAL

The residential designation does not provide for site provisions for a non-residential use. The Development Permit By-law provides that in the absence of/discrepancy/conflicting of standards (3.7 Conflicting Standards), the more restrictive shall apply. To that, the following has been prepared with the various types of residential site provisions and more restrictive requirements.

| Site Provision | Requirement | Proposed |
|---------------------------|------------------------------------|------------------------------|
| Lot Area | 930 m ² (10,011 sq.ft.) | 2640 m ² existing |
| Lot Coverage (maximum) | 40% | 24% |
| Lot Frontage | 24 m (78.7 ft) | 55.86 m |
| Front Yard Setback | 6.0 m (19.6 ft) | 0 m existing |
| Exterior Yard Setback | 4.5 m (14.7 ft) | 0 m existing |
| Interior Side Yard (east) | 1.2 m (3.9 ft) | 20.16 m |
| Rear Yard Depth | 9.0 m (29.5 ft) | 50.94 m |
| Building Height (max) | 11.0 m (36 ft) | 9.6 m |

5.4.4 Design Criteria

The following design criteria shall be applied in the review of building permit applications and development permit applications in the Residential designation:

- Corner lots should be encouraged to provide architectural interest on both street fronts.
- New development will be required at minimum to plant one tree per lot with a maximum distance between trees of 15 metres.
- The use of architectural elements such as roof shapes and design elements should be in keeping and complementary to existing and surrounding buildings, traditional patterns and neighbourhood.
- The use of materials and colours that are representative of the texture, character and palette of the community/neighbourhood is strongly encouraged.

3.0 GENERAL PROVISIONS

3.14 Existing Lots

Existing lots that do not meet the minimum setback requirements for additions shall be permitted provided the proposal complies with other provisions of the by-law.

3.15 Exterior Design

All designations within the Development Permit By-law are subject to exterior design.

3.23 Illumination

Illumination of buildings and grounds shall be permitted provided it shall not (applicable section):

- cause direct or indirect glare on a street that may interfere with traffic/pedestrian safety.
- Illumination shall not cause direct or indirect glare on adjacent properties.

3.24 Landscaped Open Space

In any Residential, Commercial, or Employment designation any portion of any front yard which is not used for any other permitted use shall be exclusively devoted to landscaped open space.

Where landscaping is required as a buffer, such landscaping shall be continuous except for lanes, driveways, aisles or walkways which provide access to the lot.

3.31 Outside Storage, Sales and Display

No person shall use any lot or part thereof for outside storage, sales or display except as permitted by this By-law and as an area which has been specifically designed and set aside for such purpose, is fully integrated with the main use of the lot.

3.32 Parking and Storage of Vehicles

| Type of Use | Minimum Number of Required Parking Spaces |
|---------------------------------|--|
| All other uses not listed above | 1 space per 30 m ² (322.9 ft ²) of gross floor area |
| Barrier Free | 1 space per 20 standard parking spaces |

3.36 Prohibited Uses

All uses specifically not identified within each designation are not permitted unless a Class III Development Permit is approved.

3.48 Variations

Variations to the By-law may be permitted subject to a formal application to the Town of Gananoque.

COMMENT:

A concurrent Development Permit application has been applied to redesignate the property from Residential to a site-specific Residential Use (RX-x) permitting a Private Community Fitness Facility.

The current use of the building is a flea market which primarily operates on weekends and holidays. The use predates the Development Permit By-law and according to Section 3.28 Continuation of Existing Uses would enjoy a legal non-conforming status. Should a change be approved, the existing flea market use will cease for the proposed Private Community Fitness Facility.

As set out in the Development Permit By-law the more restrictive site provisions have been sought. Overall, the existing site meets all requirements with exception of the front and exterior side yard which is existing and the new additions would not further encroach.

Design criteria within the By-law provides for architectural elements on corner lots (which the trail runs along the north side, colours and materials, roof shape considering the existing neighbourhood. The applicant has provided that the new construction is in keeping with the existing building. Staff would recommend that the goal or intent is not to expand the existing building in keeping with the existing building but that the additions reflect the residential area with warm and cohesive colour palettes and residential scale features such as windows, materials used on the façade.

Staff have reviewed the criteria for amendments to the Development Permit By-law as set out in the Official Plan Section 5.4.4. The policy requires that when considering an amendment one shall review the compatibility and appropriateness of new development or redevelopment. Given that the request is for a redesignation from Residential to Residential Exception designation, the following has been considered:

- Ingress and egress directly to and from every parking space and the entrances are a minimum of 6.0m for two-way traffic.
Public Works has requested a paved apron at the entrances of 1.5m to minimize service calls for sweep/cleaning of gravel from asphalt roadways, given the property is to remain gravel.
- Barrier-free access to public and commercial buildings and the designation of parking spaces for physically challenged persons. *Parking requirement is a total of 21 and barrier free requirement is 2 (1/20). The applicant is providing a total of 21 parking spaces along the southern interior lot line and behind the building. A concrete sidewalk has been provided along the north-east side of the building to accommodate access from both accessible spaces. A tactile surface is required in the areas of the depressed curb. Note: Applicant may reduce parking width to 2.7m in width as opposed to 3.0m which can provide additional green space throughout the site.*
- Access and maneuvering of emergency vehicles in providing protection to public and private properties. Emergency services have access to the building along River Street, trail system and entrance to the property which meets the requirements of the Development Permit By-law.
- No new municipal services will be required as the property is municipally serviced. *Applicant to provide own garbage and recycling removal. Any garbage/recycling bins outside shall be enclosed with fencing or shrubbery.*
- Grading and drainage plan as well as stormwater management plan has been provided and peer reviewed.
Applicant to provide final grading plan and servicing plans to the satisfaction of the Town.
- The landscaping plan includes a 3m buffer adjacent the residential dwelling (south) and includes additional landscaping along River Street.
It is recommended that the area be landscaped (not mulched) in the area of the trees along the north side and the lands abutting the Gananoque River. No outside storage shall be permitted on-site.
- Six maple trees are proposed along the west and north side of the property with a size of 50mm.
Public Works are a minimum of 70mm caliper and identification of type of maple tree on the site plan.
- Adequate lighting on the sight and illumination shall not cause direct or indirect glare interfering with pedestrians or adjacent properties. Planning rationale

provides that adequate down-lit lighting will be provided on the building and parking area.

Lighting on the building will be included in any building permit applications.

Applicant shall provide lighting plan for the parking area on the site plan.

- Protection of environmental and natural features.

All additions are located and setback from the Gananoque River and there are no impacts expected.

CIRCULATION TO AGENCIES

Circulation to all property owners within 120m of the site and the prescribed agencies (comments received to date):

| | |
|--|--|
| CAO | |
| Chief Building Official | |
| CRCA | CRCA continue to have no objection to the application. Outstanding items for Stormwater Management and snow storage remain to be addressed. A Work permit under Regulation 41/24 is required. |
| School Boards: CDSBEO and UCDSB Health Unit: South East | UCDSB – No comments |
| Utilities: Bell Canada/Canada Post/ Cogeco/Enbridge Gas/ Eastern Ontario Power/Hydro One (OPG)/MTO | |
| EMS: Fire/LG Paramedic/Police | |
| Public Works, Water/Sewer Utilities | Preliminary comments from Public Works are incorporated into the report. Additional comments will be provided on the meeting date. |
| Neighbourhood: Posting and 120m Circulation | <p>Comments in support of the application were received from: Lindsay Keefe, River Street Petra Mindoff and Eric Lepp, Steel Street Sharon Nelson, River Street Joanne Carswell, Gananoque Canoe Club Geoff Keyes, MacDonald Drive Gavin Sheridan Kelsea Brown, River Street Samantha MacNeil, Hickory Street Andrew Logan Karen Hall, River Street Bonnie Ruddock, Arthur Street Coop Student</p> <p>Questions pertaining to the application were received from: Virginia Macdonald - River Street Marian Burdsall - Oak Street</p> |

As per the previous report, Staff are obligated to base their assessment on land use planning considerations as set out in the Town's policies and by-laws – Official Plan and Development Permit Bylaw. Recommendations cannot be influenced by the personal circumstances or characteristics of an applicant; they must rely solely on the land use permissions, criteria, and objectives established in the Official Plan, Development Permit

by-laws, and related planning policies to ensure fairness and integrity in the decision-making process.

In an effort to bring resolution, Staff recommended deferring the applications to allow the applicant to investigate a site-specific permission within the Residential designation or an expansion of the existing legal non-conforming use. It was additionally noted that any such proposal would need to be supported by a planning rationale, and that Staff's evaluation would again be based on what was formally submitted and the justification thereof. The onus remains on the applicant to justify the requested change.

As requested, the applicant has resubmitted and provided a revised planning rationale, maintaining that the property is well-suited to the proposed use and emphasizing that the operation should not be compared to "large, impersonal, high-volume fitness chains typically located in regional power centres." While this may indicate that a local commercial use could be considered, land use planning decisions must be made with a long-term perspective. Once a building and its associated use are approved and constructed, they continue indefinitely; beyond the current owner. The foregoing (use in a residential designation) is ultimately what needs to be considered. Physical site provisions as reviewed under Section 5.4.4 overall would comply given the size of the building and site and outstanding items from CRCA and Public Works are likely to be addressed. The elevation design is not considered in keeping with the residential but that of the existing building.

Official Plan:

Staff's opinion to the Planning Advisory Committee regarding Official Plan Amendment OPA8-2025, which proposes to redesignate the lands from Residential to a Residential Exception to permit a private community fitness facility, remains unchanged. Staff do agree that the building and site itself are suitable but the use is unsuitable.

The applicant has requested a site-specific residential exception and identified potential partnerships with various organizations, however, the primary function of the proposal is a gym membership-based facility. Affiliations with community organizations are beneficial to communities, however, there is no guarantee that this will remain. Hours of operation (5am to 9pm) are geared to commercial activities and not that of residential or community hubs which are generally day or office hours.

Development Permit:

O.Reg. 173/16 Clause 10. (9) provides that when Council is considering a decision, the Council may:

- (a) refuse the application;
- (b) approve the application and issue a community planning permit with no conditions attached;
- (c) approve the application and require that conditions be met before issuing a community planning permit;
- (d) approve the application and issue a community planning permit with conditions attached; or
- (e) approve the application, require that conditions be met before issuing a community planning permit and, when the conditions have been met, issue a community planning permit with conditions attached. O. Reg. 173/16, s. 10 (9).

Consistent with Staff's opinion to the Planning Advisory Committee regarding the Official Plan, Staff further advise that Development Permit DP2025-13, which seeks to redesignate the lands from Residential to a Residential Exception to permit a private community fitness facility, represents an unsuitable use for the site. The primary function of the proposal is a gym and membership-based facility. Staff have difficulty supporting the use and elevation design (proposed addition) as it does not align with the intent of the residential designation but more of an industrial/commercial representation. Due to the size, the second addition will be visually prominent and out of character for the surrounding neighbourhood.

Staff acknowledges that the Development Permit By-law allows for variations under Section 3.49. The by-law cites that "Council may vary the standards, provisions and requirements of the Development Permit By-Law up to 100% of the stated standards subject to the criteria outlined below and provided that the proposal is consistent with and complies with both the Official Plan of the Town of Gananoque and the Provincial Policy Statement 2005 of the Province of Ontario and any other legislation as applicable."

Notwithstanding the foregoing, should the Planning Advisory Committee recommend support to Council for the Official Plan Amendment and the Development Permit, Staff recommend that the subject property be subject to a site-specific designation with restrictive controls on the permitted use, maximum building size, and enhanced landscaping to help maintain the residential character of the neighbourhood. Further, the design criteria for the additions should reflect surrounding residential dwellings (windows, roof, colours, and materials) and not the existing building to complement the neighbourhood.

Specifically and in addition to the immediate above, it is recommended the following shall apply to an Official Plan and Development By-law approval:

- The subject lands (OPA8-2025) on Schedule B Residential Policy Area of the Official Plan be designated Residential Exception and the following shall apply:
 - Site specific - Local Commercial shall be permitted on the subject lands and restricted to a Private Community Fitness Facility with no accessory uses.
 - No activities related to the business are permitted outside the parameters of the building.
 - No outside storage shall be permitted.
 - No backlit, flashing, illuminated signage.
- The subject lands (DP2025-13) within the Development Permit By-law be designated Residential Exception and the following shall apply:
 - Private Community Fitness Facility shall mean "*a privately owned and operated facility that offers recreational opportunities including a fitness centre exclusively to its membership or non-profit organizations within the community*"
 - Residential Exception R-Xx, Special Conditions in the agreement and Notes on the site plan include:
 - The use be identified as a Discretionary Use, specific to the subject property.
 - No outside storage shall be permitted.

- No activities related to the business are permitted outside the parameters of the building.
- No backlit, flashing, illuminated signage.
- Site plan shall be amended to reflect:
 - 1.5m paved apron be incorporated at the entrance of the property.
 - Area along north side of property shall be landscaped, not mulched. All other areas not utilized for the building or parking shall be landscaped.
 - Tree types be identified with a minimum 70mm caliper.
 - Parking lot lighting.
- Elevation plan shall be amended to reflect façade materials and colours that complement the residential area not the existing building, including but not limited to architectural features such as size of windows, awnings or canopies.
- All final plans be submitted and approved to the satisfaction of the Town and CRCA;
- The owner satisfy all requirements with regards to stormwater management to the satisfaction of the Town and the CRCA;
- All costs associated with fulfilling the conditions of this decision are borne by the owner, and;
- The owner enters into an agreement with the Town within one (1) year of approval.

| | |
|----------|---|
| APPROVAL | |
| | |
| | Brenda Guy, Manager of Planning and Development |

December 3, 2025

File: DP/GAN/223/2025

Sent by e-mail

Brenda Guy
Manager of Planning and Development
Town of Gananoque
bguy@gananoque.ca

Dear Ms. Guy:

**Re: Second Submission
Application for Official Plan Amendment OPA8-25
Application for Development Permit DP2025-14
145 River Street, Town of Gananoque
Gananoque River**

Cataraqui Conservation staff have reviewed a second submission of supporting materials for the above-noted application.

The following comments are further to our October 22, 2025 comment letter. Item numbering is consistent with our previous comments.

Natural Hazards

1. Addressed. Site Plan and Grading Plan revised showing proposed French Drain outside flood plain.
2. Addressed. Plans revised showing French Drain greater than 10 m from toe of slope / water's edge.
3. Addressed. Subdrains will be only alteration between French Drain and shoreline.

Stormwater Management

4. Addressed. Drainage area maps have been submitted.
5. Not addressed. The allowable release rate (pre-dev runoff) in the Stormwater Management Report is based on the 5-year return period. To meet Cataraqui Conservation guidelines for quantity control, the allowable release rate must be based on the more restrictive 2-year return period. Additionally, the report should be revised to eliminate discrepancy and address confusion as it relates to peak flow control and storage requirements. **Please address.**
6. Partially Addressed. It appears the proposal is to provide storage in a surface infiltration trench at the east end of the property, discharging to the Gananoque

River. The storage volume that will be provided by this facility is indicated on the plans based on stated area, depth, and what is assumed to be void ratio of the stone medium. However, there is conflicting information on the plans.

- a) The “9m³ FRENCH DRAIN” shown on the plans contradicts “FRENCH DRAIN CALCULATIONS” in the SWM report which indicate 33m³. **Please address / revise.**
 - b) The value of “0.4” used in the volume calculation presumably refers to the void ratio of the stone medium but the drawings do not provide stone medium details. **Please address / revise.**
 - c) We note that Section 4.5.8 Infiltration Trenches on pages 4-24 to 4-29 (starting on page 102 of the 379-page PDF) in the MOE Stormwater Management Planning and Design Manual (SWMP&DM), March 2003, provides applicable design guidance. It is recommended that this guidance be reviewed and followed. The report should explain how the proposed design addresses MOE SWMP&DM design guidance. The plans should show the detail necessary to construct the proposed stormwater facilities. A cross section or profile drawing of the proposed infiltration trench should be provided to assist in illustrating elevations, dimension, MOE SWMP&DM recommended design details. **Please address / revise.**
 - d) There are discrepancies between the plans and the stormwater report as it pertains to outlet restriction diameter. The stormwater report doesn’t specify the number of outlets but does specify the diameter, which is different than the diameter shown on the plans. This discrepancy needs to be addressed, and calculations should be provided in the report showing how the diameter, slope and number of outlets will limit post-dev peak flow to allowable (pre-dev) release rates. **Please address.**
7. Addressed.
8. Addressed.
9. Addressed.
10. Addressed.
11. Partially addressed. Snow storage location has been added to the drawings. However, it’s shown immediately adjacent and upstream of the proposed stormwater facilities/outlet. Cataraqui Conservation Guidelines for Stormwater Management require that snow storage areas located as far as possible from the intended stormwater outlet and/or an adjacent waterbody...and be designed so as not to impair the function of stormwater management facilities. **Please address / revise.**

Recommendation

CRCA continues to have no objections to the approval of Official Plan amendment application OPA8-2025 based on our review of natural hazards policies.

We recommend that the remaining comments noted above (5, 6, 11) be fully addressed to the satisfaction of the Town and CRCA prior to approval of Development Permit application DP2025-13.

Ontario Regulation 41/24

A permit for site work within 15 metres of the flood plain and erosion hazard on the subject property will be required from CRCA. This would include the proposed French Drain area and associated site work. The applicant can contact the undersigned for further information regarding the permit process.

If you have any questions, please contact the undersigned at (613) 546-4228 ext. 228, or by e-mail at mdakin@crca.ca.

Please inform this office of any decision made by the Town regarding this application.

Yours truly,

A handwritten signature in black ink, appearing to read 'MDakin', is positioned below the 'Yours truly,' text.

Michael Dakin MCIP, RPP
Supervisor, Development Review

cc: Applicant, via email
Eastern Engineering, Engineering Consultant, via email

Brenda Guy

From: Penny Kelly
Sent: December 3, 2025 8:11 AM
To: Marian Burdsall
Cc: Brenda Guy; Trudy Gravel
Subject: RE: File OPA8-25/DP2025-13

Hello Marian,

This message is to confirm receipt of your email and to advise that it is being forwarded to Brenda Guy, Manager of Planning and Development and Trudy Gravel, Assistant Planner (both copied on this email) for their records.

Thank you.

Penny

Penny Kelly
Clerk-CEMC
The Corporation of the Town of Gananoque
30 King Street East
Gananoque, ON K7G 1E9

613-382-2149 Ext.1120
613-382-8587 (Fax)
www.gananoque.ca
www.travel1000islands.ca



From: Marian Burdsall [REDACTED] >
Sent: December 2, 2025 3:42 PM
To: Penny Kelly <clerk@gananoque.ca>
Subject: File OPA8-25/DP2025-13

You don't often get email from [REDACTED]. [Learn why this is important](#)

Regarding this official plan amendment and development permit application.

I do not have an issue with the change in the OP or the change in use from a weekend-only antique market to a business that is open 7 days a week as long as the R-XX does not open the property to other uses that could be adverse to the residents adjacent to and across from the property.

My question is why a housing component was neither included by the applicant nor requested by the town? With an affordable housing crisis, the town could be proactive and request such applications

include some form of housing (a separate suite, a studio apartment) to provide much needed accommodation in this residential area.

Regards,

Marian Burdsall
140 Oak Street
Gan



--

Marian Burdsall

Brenda Guy

From: Trudy Gravel
Sent: December 3, 2025 1:33 PM
To: V Macdonald
Cc: Brenda Guy
Subject: OPA8- 25 & DP2025-13 145 River St.

Good Afternoon Virginia,

Thank you for providing your concerns as listed below as it pertains to the proposed private community fitness facility at 145 River Street.

The entrance/exits into the property would not be permitted to be located along the north side of the property as there is an existing trail at this location which is not a public street. Landscaping is proposed between the entrance/exits and along the southern interior lot line which may reduce the glare of headlights towards your property.

The applicant has indicated that the business hours will be daily from 5am to 9:30pm. It is proposed that those attending the gym will be by use of a fob that can only be used during the business hours.

The applicant is proposing two additions, being a 31m² addition at the front of the building on the south side for the purpose of a vestibule and a two-storey addition of 210m² on the east side of the building to be constructed and operational within 1-2 years. The 210m² additional is proposed to operate as a multi-use space.

You may wish to attend the December 9, 2025 meeting of Planning Advisory Committee at 6:00pm in the Council Chambers either in person or virtually to hear more about the proposal.

If you have additional questions, please let me know.

Thank you.

Trudy

-----Original Message-----

From: V Macdonald <[REDACTED]>
Sent: December 2, 2025 7:45 PM
To: Trudy Gravel <assistantplanner@gananoque.ca>
Subject: Re: OPA8- 25 & DP2025-13 145 River St.

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Hi Trudy,

Again, thank you for your quick reply.

I do have a couple of questions. Specifically, the driveway and the cars coming and going out right in front of my house. I'm assuming that if the gym is open from early til late, I'm concerned that this will affect my home. (I hope I'm phrasing this correctly - I am not against the proposal, but I just want to make sure that my questions will be addressed). Is it

possible to have the entry/exit on the north side of the property? (across from the dog park). That way this will keep the area still feeling residential without a lot of car headlights shining in my windows at all hours.

I was also wondering what are the proposed hours of the gym?

I also noted that there will be a second floor added to the existing building. I know I can't ask for my river view to stay as it is, but I wonder how this will all be laid out.

Thank you so much for your time, and I look forward to hearing what next steps there are.

Sincerely,

Virginia

> On Nov 21, 2025, at 2:28 PM, Trudy Gravel <assistantplanner@gananoque.ca> wrote:

>

> Good Afternoon Virginia,

>

> Attached you will find the plans for the proposed Gananoque Fitness Facility at 145 River Street.

>

> If you require additional information I have posted additional drawings and studies on the Town's website at the following link: <https://www.gananoque.ca/town-hallpublic-meetings/planning-advisory-committee-meeting-december-9-2025-replaces-november-25-2025>

>

> If you have additional questions, please let me know.

>

> Thank you and have a nice weekend.

>

> Trudy

>

> -----Original Message-----

> From: V Macdonald <[REDACTED]>

> Sent: November 21, 2025 2:19 PM

> To: Trudy Gravel <assistantplanner@gananoque.ca>

> Subject: 145 River St.

>

> [You don't often get email from vmacdo@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

>

> Hello,

>

> I am writing about File No. OPA8-25/DP202513.

>

> I received the information regarding the above and the map that shows the building plan etc. I cannot read.

> (The type is really small).

>

> Could you send me this via the email address I am writing from? From what I can tell it looks like a minor change and I think a gym would be ok but need more info. Thank you so much and wishing you a wonderful weekend.

>

> Sincerely,

>

>

> Virginia Macdonald
> [REDACTED] River St.
> Gan. K7G 2P7
>
> <9027 Gan Fitness - C0-C2 Ex. Conditions, Site Plan & Grading Plan.pdf>



Gananoque Canoe Club

PO Box 519
Gananoque, ON K7G 2V1

To Whom It May Concern,

I hope this letter finds you well. I am reaching out on behalf of Gananoque Canoe Club an established Canoe and Kayak Sprint Club dedicated to fostering athletic development, community engagement and the growth of young athletes. We are excited to explore the possibilities of a mutually beneficial partnership with Gan fitness if they could purchase the property at 145 River Street Gananoque. The Gan Fitness facility would be located conveniently across from our club.

As a sport that demands both endurance and strength, our athletes rely heavily on conditioning and training. Having a fitness facility like Gan Fitness nearby would be invaluable and provide us the opportunity to extend our athletes training program. Gananoque Canoe Club is extremely proud of our competitive athletes who compete at the Provincial and National level.

We believe that by partnering we can offer extended training to our athletes when outdoor conditions are less favorable for water-based practice:

- Off-season fitness programs tailored to canoeing and kayaking, focusing on strength, endurance and injury prevention.
- Access to training space and indoor fitness space for team building events.
- Building a variety of programs accessible to our membership and growing youth recreation in the community.

As a community member I feel that the facility would foster a second home environment similar to our Gananoque Canoe Club family. I believe now more than ever community recreation is imperative in the future of our youth.

Sincerely,

Joanne Carswell
Commodore
Gananoque Canoe Club
Gananoquecanoeclub@gmail.com

From: [Geoff Keyes](#)
To: [Trudy Gravel](#)
Cc: ganfitness@outlook.com
Subject: 145 River St Rezoning
Date: October 28, 2025 3:15:07 PM

You don't often get email from gkeye018@gmail.com. [Learn why this is important](#)

Good afternoon,

My name is Geoff Keyes, and I am writing to you today in support of the rezoning of the building at 145 River Street. I'm proud to call Gananoque home. I've lived here for nearly my whole life. In that time, I've seen our town evolve. Sometimes slowly, sometimes in exciting bursts of energy — but always with one constant: the people who care deeply about keeping our community healthy, connected, and growing in the right direction.

Simply put, I ask for the go ahead of the rezoning that would allow Gan Fitness to relocate and expand — not just because I believe in Bethanie and what she's built, but because I believe in what this project represents for our entire town.

I've been privileged to have Bethanie Matthews as a friend for nearly 20 years. I've watched her build a business over the last 12 years that has become a mainstay of our small town. A business that is accepting of everyone, and has great promise for its future.

Citizens like Bethanie are what make Gananoque great, you know this if you have ever set foot in her gym, joined one of her leagues, or seen her volunteering with youth teams. Who she is is more than just a business owner, and that Gan Fitness is more than a gym. It's a heartbeat in this community. Gan Fitness has given people a place to belong — a place where confidence grows, health improves, and connections are made.

Let us not forget the pandemic that is still fresh in our minds. Such a thing was the proverbial death sentence to many local businesses, especially those reliant on the ability to have their clients be physically on the premises. Gan Fitness not only survived this, it came out stronger on the other side. It is a testament to Bethanie's resilience, spirit, and belief in the mission of her gym.

We often talk about wanting our town to grow — to attract young families, to keep our youth engaged, to make Gananoque a vibrant place to live and work. But that kind of growth doesn't happen by accident. It happens when we *support* people who are willing to invest in our community — people like Bethanie.

Let's also remember — this is a property that already allows for schools, community centers, and churches. If we can see the value in those spaces, surely we can see the value in a community health and fitness hub. Especially one that has already proven its impact over 12 years right here in town.

Approving this rezoning doesn't just give a business permission to move — it gives our community permission to grow in the right way. It says that we believe in supporting local entrepreneurship, community health, and smart, sustainable development. It says that we want to keep our residents active, connected, and proud of where they live.

Gananoque is known for its charm, its spirit, and its sense of community. Let's make sure

we're also known for being a town that supports progress — especially when it's being led by people who have already proven their dedication to us.

In short, I'm asking you — as a neighbor, as a taxpayer, as someone who loves this town — please support this rezoning. Let's give Bethanie, and the many residents who will benefit from this project, the chance to turn this vision into reality. Because when local people succeed, our whole community succeeds with them.

I thank you for your time and consideration

Geoff Keyes

■ MacDonald Drive

Gananoque

From: [gavin.sheridan](#)
To: [Trudy Gravel](#)
Date: October 28, 2025 4:20:07 PM

You don't often get email from [REDACTED] [Learn why this is important](#)

Gan Fitness has been a beneficial and important addition to the Ventures Group Home programming, providing youth ages 11–17 with a safe, structured, and supportive environment to engage in physical activity. The program offers an outlet for the youth to release energy, build confidence, and develop positive coping skills through fitness and teamwork. Gan Fitness creates a welcoming space where youth can focus on their well-being, learn discipline, and experience success in a healthy and encouraging setting. Currently, staff and youth travel to Kingston to access additional fitness amenities and opportunities, which can be time-consuming and limit participation. Having a local facility would be highly beneficial, allowing for more frequent and consistent engagement in these positive activities. The development of a new location would expand opportunities for Ventures youth and local community youth, providing a safe, supervised space that promotes physical health, mental wellness, and community connection.

Gavin Sheridan
Child Care Worker
[REDACTED] [REDACTED]

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If you have received this communication in error, please notify the sender immediately by return e-mail and permanently delete the copy you have received. Thank you.

From: [Kelsea Brown](#)
To: [Trudy Gravel](#)
Cc: ganfitness@outlook.com
Subject: Letter of Support OPA8/25 DP 2025-13
Date: October 28, 2025 1:44:32 PM

You don't often get email from kc.brown42@gmail.com. [Learn why this is important](#)

Please see the letter of support below.

Date: October 28, 2025

To: Town of Gananoque – Planning Advisory Committee
30 King Street East, Gananoque, ON K7G 1E9

Subject: *Letter of Support – Proposed Relocation of Gan Fitness*

As a resident of River Street in Gananoque, I am writing to express my strong support for the proposed relocation of Gan Fitness to our neighbourhood. After reviewing the plans and understanding the project's intent, I see no concerns about negative impacts on our street or the surrounding area. On the contrary, I believe this move will enhance the health, vibrancy, and sense of connection within our community.

The proposed gym would revitalize an existing building, creating a safe, attractive, and inclusive space that encourages activity and community engagement, something every small town benefits from.

In addition to being a local resident, I am a recreation professional who has worked in multiple municipalities. Through that experience, I've seen firsthand the powerful impact accessible recreation hubs can have. Facilities like Gan Fitness do far more than offer exercise opportunities, they bring people together, foster relationships, and strengthen the social fabric of the community while supporting physical and mental well-being for all ages.

This relocation would make those benefits even more accessible, providing a welcoming environment for youth to be active, adults to manage their health, and seniors to maintain independence and social connection. Beyond fitness, Gan Fitness has the potential to become a true community hub, a place that supports healthy living, inclusion, and local pride.

Supporting this relocation also aligns with Gananoque's goals of promoting small business growth and sustainable community development. As a long-standing local business, Gan Fitness has continually given back through volunteerism, coaching, and event participation. Allowing its relocation ensures those contributions, and the economic and social value they bring, remain part of our town's fabric.

Approving this proposal would demonstrate Gananoque's commitment to health, inclusivity, accessibility, and community spirit, and reaffirm that recreation and wellness are essential to a thriving, connected municipality.

Thank you for your time and consideration, and for your continued dedication to a vibrant and healthy Gananoque.

Sincerely,

Kelsea Brown
Resident, [REDACTED] River Street, Gananoque

Samantha MacNeil
[REDACTED] Hickory Street
Gananoque, Ontario
K7G 2P5

October 27, 2025

The Planning Advisory Committee
Town of Gananoque
30 King Street East
Gananoque, ON K7G 1E9

RE: Letter of Support – Proposed Rezoning Application for a Gym Facility at the River Street Flea Market Property

Dear Members of the Planning Advisory Committee, I am writing to express my strong support for the proposed rezoning application to permit the establishment of a fitness centre (the “gym”) at the site of the Gananoque Flea Market on River Street. As a resident living less than 200m from the proposed site, I believe this project represents a valuable and much-needed addition to our town’s social, economic, and physical landscape. It aligns with the objectives outlined in the Town’s Official Plan and Zoning By-law by fostering community well-being, promoting active living, enhancing land-use compatibility, and revitalizing an underutilized site.

1. Compatibility with Existing and Adjacent Land Uses

The River Street location is ideally suited for a community-oriented use such as the proposed gym. The property’s current use as a flea market is low-intensity and seasonal, resulting in extended periods when the space is underused. Repurposing this site into a year-round fitness facility would enhance the area’s vitality without causing conflicts with surrounding land uses. The gym’s daytime and early evening operating hours would complement rather than compete with existing nearby commercial and residential activities (for example, the nearby bed and breakfasts).

Furthermore, as a low-impact, two-storey building, the proposed gym would maintain the existing character and scale of the neighbourhood. The site offers sufficient space for parking and safe vehicle access, reducing the potential for traffic congestion or parking overflow on surrounding streets. This reuse of an existing commercial site, rather than

developing a new greenfield property, demonstrates efficient and sustainable land-use planning consistent with provincial policy directions.

It is also important to note that the gym would be consistent with other land uses in the area that prioritize health and well-being—particularly, the Gananoque Canoe Club which is located across the Gananoque River.

2. Contribution to Community Health and Well-Being

The Town of Gananoque has long recognized the importance of fostering an active and healthy population. The addition of a modern gym directly supports this objective. Access to inclusive, year-round fitness opportunities is essential not only for physical health but also for mental well-being and community connection.

Particularly noteworthy is the proposal's plan for a large single-level development. This design feature will be beneficial for Gananoque's growing senior population and individuals rehabilitating injuries. The absence of stairs or multiple levels will ensure that the facility is fully accessible to residents with mobility limitations, seniors seeking low-impact exercise options, and those recovering from physical therapy programs. By prioritizing accessibility and inclusivity in its design, the proposed gym will help reduce barriers to active living for many residents who currently have limited options.

The recent closure of the local boxing club has left a significant gap in our community's recreational offerings. That facility was more than a fitness centre — it was a gathering place that fostered discipline, mentorship, and social connection. Its absence has been felt deeply by youth and adults alike. The proposed gym would help fill this void by offering an inclusive and welcoming space for exercise, rehabilitation, and community building.

3. Economic and Social Benefits

From an economic perspective, the project represents a modest but meaningful investment in Gananoque's commercial base. The redevelopment of the River Street site will create local construction activity, generate employment opportunities for fitness trainers and administrative staff, and act as an amenity offering to the numerous bed and breakfast locations nearby. As members of the Committee know, small-scale commercial revitalization contributes to the vibrancy and sustainability of our local economy.

Moreover, a new gym would strengthen Gananoque's attractiveness to new residents and visitors. Increasingly, prospective homeowners and renters seek communities that promote health, wellness, and quality of life. The addition of a fitness facility in town reduces the need for residents to commute to Kingston or Brockville for their exercise needs, keeping that economic activity — and those community relationships — right here in Gananoque.

4. Alignment with the Town's Official Plan and Planning Objectives

The proposal aligns closely with several of the guiding principles in Gananoque's Official Plan, particularly those concerning:

- Efficient use of existing infrastructure and services.
- Promotion of community health and recreation.
- Encouragement of infill and redevelopment.
- Support for age-friendly and inclusive communities.

5. Environmental Considerations and Sustainable Design

In addition to its social and economic merits, the project has environmental advantages. Repurposing an existing structure significantly reduces the carbon footprint compared to new construction. Opportunities also exist to incorporate energy-efficient lighting, modern HVAC systems, and water-saving features, aligning the project with contemporary sustainability standards.

6. Addressing Potential Concerns

Some may express concern about traffic, parking, or noise; however, given the site's existing commercial use, the proposed change represents a continuation rather than an intensification of activity. The anticipated traffic generation from a gym of this scale would be modest, particularly when compared to the peak, weekend operations of the flea market. Parking can be effectively managed within the site's current capacity, and noise levels from indoor fitness activities will be negligible to adjacent properties.

Also, moving the gym closer to the interior of the Town from its current location, will encourage members to walk or use alternative, non-automotive forms of transportation.

7. Broader Community Impact

The gym would serve as a hub for residents to come together, pursue health and wellness goals, and support one another. In a time when many small towns struggle to maintain accessible recreational spaces, this proposal stands as a proactive step toward ensuring Gananoque remains a vibrant, connected, and forward-looking community.

This project also provides opportunities for partnerships — for example, with local physiotherapists, seniors' groups, and youth organizations — ensuring the gym functions not just as a business, but as a community resource. By providing programs tailored to seniors, rehabilitation clients, and families, it can serve a diverse cross-section of residents, helping to reduce isolation and improving quality of life across generations.

Conclusion

The proposed rezoning to allow a gym at the River Street Flea Market represents a thoughtful, well-aligned, and community-enhancing use of the site. It meets key planning criteria related to land-use compatibility, accessibility, efficient use of existing services, and support for community well-being. The project addresses a clear local need created by the closure of the former boxing club and will provide lasting economic, health, and social benefits to the Town of Gananoque.

I respectfully urge the Planning Advisory Committee to recommend approval of this application. Doing so would not only enable a worthwhile redevelopment but also reaffirm the Town's commitment to sustainable, inclusive, and health-oriented community growth.

Thank you for your time, attention, and continued service to our community.

Yours truly,
Samantha MacNeil

From: [Gan Fitness](#)
To: [Trudy Gravel](#)
Subject: Fwd: Support Letter for Gan Fitness
Date: October 6, 2025 10:57:32 AM

----- Forwarded message -----

From: Petra Mindorff [REDACTED]
Date: Aug 5, 2025 5:01 PM
Subject:
To: ganfitness@outlook.com
Cc:

To the Town of Gananoque Planning Advisory Committee and the Gananoque Town Council

We are writing in strong support of the proposed gym relocation at the former flea market building on River Street in Gananoque.

As the landlord of 295 River Street property that we use and rent to long term residents, we believe this project presents a meaningful opportunity to revitalize the space and bring lasting benefits to the neighborhood. A gym in this location would provide convenient and inclusive access to health and wellness services for residents of all ages, while contributing to the development of a vibrant community hub in the area.

The team behind this proposal already operates a successful gym here in Gananoque. They've built a strong membership base, established a welcoming culture, and proven there is significant local demand for this kind of space. Their current operation provides ample proof of concept—this isn't a speculative venture, but a well-tested and needed expansion. A permanent, purpose-fit location on River Street would allow them to grow their offerings and better serve the community in a central and convenient location.

Gananoque is home to people of all ages—from youth and young families to working professionals and retirees—and a well-run gym with flexible, accessible programming has the potential to support wellness for everyone. From strength and conditioning for young adults, to mobility and wellness classes for seniors, this facility can play a key role in supporting physical and mental health town-wide.

In addition to their proven business success, the gym owners are active, dedicated participants in Gananoque's community life. They regularly volunteer their time for local events and initiatives, and their desire to open this gym comes from a place of deep care and connection to the town. Their vision is to build more than just a gym—they want to create a welcoming community space that could host workshops, after-school programs, fitness and wellness events, and more.

We respectfully urge the Town to support this proposal. We're confident that it will

be a long-term asset to the community and a positive, health-focused use of the River Street property.

Sincerely,
Petra Mindorff and Eric Lepp

[REDACTED]

Primary Residence: [REDACTED] Steel Street Gananoque

Landlord: [REDACTED] River Street Gananoque

From: [Sam Samson](#)
To: [Trudy Gravel](#)
Subject: Support Letter for Gan Fitness to relocate to 145 River Street, Gananoque
Date: October 6, 2025 4:24:08 PM

[You don't often get email from sam11samson@yahoo.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Below is copy of my Support Letter for Gan Fitness to relocate to 145 River Street.

August 16, 2025

Town of Gananoque:

Planning Advisory Committee
and
Gananoque Town Council

30 King Street East
Gananoque, Ontario
K7G 2T6

Dear Advisory Board and Town Council.

This letter is a support letter for Gan Fitness to be able to relocate their excellent community business to 145 River Street, here in Gananoque.

The new potential location will benefit the community even more than this wonderful business already does.

This new location would increase the walkability for people using GanFitness and hopefully increase the number of community members being able to avail themselves of this multi generational, super supportive, caring business which increases the health of town citizens.

The new location would mean the gym and classes would all be on the ground floor.

The location has always had a baseline small amount of vehicles coming in and out of the parking area..so this use would not change the way things work on River Street.


I feel this would be the best possible use of the property.

As you can tell, by my words..I'm all for the relocation.

Gan Fitness has had a life changing effect on me. I'm a Senior and over my life time..I have joined many Gyms..then never followed through..until July of 2016 when I had the good fortune to join Gan Fitness!! And I have been an active member ever since!!

Gan Fitness provides the best multigenerational and personal approach, I have ever experienced!

Thank you for your attention to my support letter.

Sharon Sherry Nelson
 River Street
Gananoque, Ontario
K7G 2P9

From: [Lindsay Keefe](#)
To: [Trudy Gravel](#)
Cc: ganfitness@outlook.com
Subject: Community Support for Gan Fitness Proposal
Date: October 6, 2025 9:17:51 PM

You don't often get email from lindsaymkeefe@gmail.com. [Learn why this is important](#)

Dear Town Council,

I hope this message finds you well.

My husband and I were thrilled to learn that Bethanie Matthews and Gan Fitness have purchased the former Flea Market building. In a time when many individuals face challenges related to mental and physical health, the prospect of a community-focused fitness center—centrally located and easily accessible—offers tremendous value to Gananoque.

The proposed additions of a gymnasium and recreational rentals, alongside the fitness facilities, would further enrich our town. I can already envision friends, family, and visitors to our local bed and breakfasts enjoying paddle boards and kayaks on the Gananoque River throughout the spring, summer, and fall. These offerings would highlight the natural beauty of our area and encourage active lifestyles.

As a River Street resident, I would absolutely purchase a gym membership. I'm especially excited about the opportunity to play basketball and volleyball again—activities I've missed due to the limitations of the current gym's location and size. Being able to walk to a well-equipped facility would make my fitness goals more attainable and foster connections with other like-minded residents.

With Gananoque continuing to grow and new homes being built, it seems both timely and logical to invest in infrastructure that supports wellness, recreation, and community engagement. The gymnasium, in particular, holds great promise for youth programming and after-school activities, offering a safe and healthy space within walking or biking distance.

While I understand that change can be met with hesitation, I believe it is essential to support local entrepreneurs—especially women-led initiatives—that aim to strengthen and uplift our community. Gan Fitness's proposal reflects a thoughtful vision for Gananoque's future, one that prioritizes health, connection, and inclusivity.

Thank you for considering this important opportunity to enhance our town.

Warm regards,

Lindsay Keefe
River Street Resident & UCDSB Teacher

From: [Andrew Logan](#)
To: [John Beddows](#)
Cc: [Collin Brown](#); [Matt Harper](#); [Patrick Kirkby](#); [Anne-Marie Koiner](#); [Vicki Leakey](#); [David Osmond](#); [Shellee Fournier](#); [Penny Kelly](#); [Brenda Guy](#); [Trudy Gravel](#)
Subject: Support the Gan Fitness Expansion – Vital Investment in Our Community
Date: October 31, 2025 8:05:25 AM
Attachments: [Outlook-nzh1s0qv.png](#)

Some people who received this message don't often get email from logan453@outlook.com. [Learn why this is important](#)

Dear Mayor and Members of Council,

As an active member of Gan Fitness, I am writing to express my strong support for the proposed move and expansion to **145 River Street**. This is not just about a gym relocating; it is about bringing to life a vision of a true **Community Health, Fitness, and Wellness Hub** that will strengthen Gananoque.

Gan Fitness has been a cornerstone of our town for years, helping residents of all ages become healthier, more connected, and more active. This new space would allow it to expand programs, create more opportunities, and serve as a gathering place for both physical and community well-being.

It is deeply concerning that Town staff are recommending against rezoning for a project that represents a vital community investment. This facility would bring long-term value to our town, something the City should fully and proudly support.

I urge you to move this forward and show that Gananoque **stands with its residents, supports local businesses, and values the voices of the community.**

Regards

- **Andy**

Proud Member, Gan Fitness

Andrew Logan |

Phone: (

E-Mail:



From: [Karen Hall](#)
To: [Brenda Guy](#)
Subject: 145 River Street
Date: November 5, 2025 1:11:53 PM

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Dear Ms. Guy,

I attended the town council meeting yesterday to express my support of the application regarding opening a sports and recreation facility at 145 River Street. Unbeknownst to me, the matter had been deferred. So instead I am offering my opinion here in writing.

I live at 113 River Street, two doors down from this building. It seems to me that a sports and recreation facility would be an excellent use of this property. It is centrally located, easy to walk to from various neighbourhoods, and has abundant room for parking. It doesn't hurt that it is also in a pleasant part of town, with lots of outdoor space available nearby, which might be suitable for some activities.

I am strongly in support of this application and I hope the town council will see fit to approve it.

Yours sincerely,

Karen Hall
[REDACTED]

November 2, 2025

To the Members of Gananoque Town Council,

I am writing to express my full support for the proposed expansion of Gan Fitness (Bethanie Matthews), a project that represents far more than a business development, it embodies a bold investment in the physical, mental, and social well-being of our community.

This initiative is the culmination of a 12-year vision and countless hours of planning. It is a testament to the persistence and commitment of individuals who believe deeply in the power of wellness to transform lives. The vision is clear: to create a true *Community Health, Fitness, and Wellness Hub*, a central space where youth can find mentorship and belonging, seniors can maintain strength and independence, families can connect through active living, and residents of all ages can feel supported on their personal wellness journeys.

The proposed expansion will enable the fitness club to offer a larger, more inclusive environment with space to grow and serve. The new facility will feature an expanded gym floor, purpose-built classrooms for group fitness and wellness programming, and, in time, a full gymnasium with courts to accommodate a broader range of recreational opportunities. This evolution will not only enhance access to health and fitness resources but will also strengthen the social fabric of our town by fostering connection, collaboration, and community spirit.


In an era where health and social connection are more important than ever, this project aligns seamlessly with our community's aspirations for sustainable growth, well-being, and inclusivity. It represents forward-thinking leadership and a commitment to long-term impact.

I urge Council to support this transformative project and to recognize it as an essential step in building a stronger, healthier, and more vibrant community for generations to come.

Thank you,

Bonnie

Bonnie Ruddock (10 year member of Gan Fitness)



Since ive started doing my co-op here, ive really started ~~ed~~ thinking about getting a membership here. I genuinely enjoy the enviornment and the people here ~~but~~ i love being here but whats stopping me ~~and~~ my parents to allow me too is the location. This location can feel very sketchy, especially at night. There aren't any streetlights on this road and its a really quiet area. As a young girl it can be intimidating walking here alone and i know im not the only one who feels this way. im sure a lot of other parents and kids have the same concerns about coming here by themselves. A gym should be a place where everyone feels comfortable, safe and welcome not somewhere people have to worry about their ~~s~~urroundings just to workout.

~~Everyone deserves to be comfortable and safe,~~
it's a small

I truly think that if we were in a better,
safer and more visible location it would make
a huge difference for everyone not just for me
but for all the younger members, families, current
members and future members - would feel confident
coming here and it would help the gym ^{continue to} ~~grow~~
grow in many ways, even more.

NOTICE OF PUBLIC MEETING (PREVIOUSLY DEFERRED) Proposed Official Plan Amendment and Class III Development Permit

TAKE NOTICE THAT the Town is in receipt of a complete application for a proposed Official Plan Amendment, pursuant to Section 21 and a Development Permit pursuant to Section 70.2 of the Planning Act, R.S.O. 1990.

Planning Advisory Committee for the Town of Gananoque will hold a Meeting on **TUESDAY, DECEMBER 9, 2025 at 6:00 P.M.** in the **TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 King Street East, Gananoque** to provide recommendations to Council on the concurrent applications below.

AND FURTHER TAKE NOTICE that the Council for the Corporation of the Town of Gananoque will hold a Public Meeting on **TUESDAY, DECEMBER 16, 2025 at 5:00 P.M.** at the **TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 King Street East, Gananoque** to consider the following applications:

*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hall/meetings> prior to the meeting.

File No. **OPA8-25/DP2025-13**

OWNER: **AGNES & HARRIE TIEKEN**
APPLICANT: **BETHANIE MATTHEWS**

The property municipally and legally described as

145 RIVER STREET

PLAN 86 PT LOT 476 PT LOT;477 PT LOT 478 PT LOT 479 RP;28R8089 PART 1
TOWN OF GANANOQUE

has applied to the Town of Gananoque for an Official Plan Amendment (File No. OPA8-25) from
**RESIDENTIAL TO RESIDENTIAL EXCEPTION DESIGNATION
TO PERMIT A FITNESS AND RECREATION FACILITY**

AND

has applied to the Town of Gananoque for a Development Permit (File No. DP2025-13) to
**REDESIGNATE THE PROPERTY FROM RESIDENTIAL TO RESIDENTIAL EXCEPTION (R-XX) TO PERMIT A
FITNESS AND RECREATION FACILITY**

Note: Applications OPA8-25 and DP2025-13 are concurrent. DP2025-13 will be a condition for final approval of Official Plan Amendment application OPA8-25

Additional information in relation to the proposed **Official Plan Amendment** and **Development Permit** is available in-person for inspection between 8:30am - 4:30pm at the Town of Gananoque, 30 King Street East, Gananoque Ontario or on the Town website at <https://www.gananoque.ca/town-hall/meetings>, or by emailing assistantplanner@gananoque.ca or by calling Trudy Gravel 613-382-2149 ext. 1129.

Official Plan

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town before the proposed Official Plan is adopted, the person or public body is not entitled to appeal the decision of the Town to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town before the proposed Official Plan is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal, unless in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party. If you wish to be notified of the decision of the Corporation of the Town of Gananoque in respect to this proposed **Official Plan Amendment** and related amendments, you must make a written request to the Clerk for the Town of Gananoque, 30 King Street East, Gananoque, Ontario K7G 1E9, or by email to clerk@gananoque.ca.

Development Permit By-law

If you wish to provide comment or input in respect of the proposed **Development Permit** you may do so at the public meeting or in writing prior to the meeting. **Note:** Only the applicant of a **Development Permit** has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.

DATED this 14th day of NOVEMBER 2025



Brenda Guy
Manager of Planning and Development
bguy@gananoque.ca
613-382-2149 Ext.1126

AMENDED

THE CORPORATION OF THE TOWN OF



OPA8 / 25

APPLICATION FOR OFFICIAL PLAN AMENDMENT

To amend the Official Plan under Sections 17 of the *Planning Act*

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

- ☐ Complete application form signed including declaration of applicant
- ☐ Copy of the deed of property or offer to purchase and sale
- ☐ Application fee in the amount of \$1,600 (Fifteen Hundred Dollars) payable to the Town of Gananoque
- ☐ Deposit fee in the amount of \$2,000 (Two Thousand Dollars) payable to the Town for any peer reviews of various studies (By-law 2016-047). The owner/applicant is responsible for all peer review fees that the Town incurs in this regard and may be subject to additional invoicing.
- ☐ One scaled copy, one reduced 11 x 17 copy and one digital of the most recent survey of the subject property
- ☐ One scaled copy, one reduced 11 x 17 copy and one digital showing the boundaries and dimensions of the subject land as well as the area of the lands that are subject to the amendment. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Official Plan Amendments may be subject to review and a separate cheque payable to the Cataraqui Region Conservation Authority. The Town of Gananoque recommends that you consult with a Conservation Authority Officer prior to making application

CONTACT INFORMATION

Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.

| | | |
|---|--|------------------------|
| Name of Applicant: Bethanie Matthews | Complete Address including Postal Code: 343 Georgiana St, Gananoque, On, K7G1N1 | Phone: 613 929 9927 |
| | E-mail: ganfitness@outlook.com | |
| Name of Property Owner (if different than applicant): Agnes Tieken | Complete Address including Postal Code: 215 Marble Rock Rd, Gananoque K7G2v4 | Phone: 6133286653 |
| | E-mail: tieken_ned@kingston.net | |
| Land Surveyor: | Complete Address including Postal Code: | Phone: |
| | E-mail: | |

PROPERTY INFORMATION

| | |
|---|--|
| Street or Property Address (if applicable): 145 River St, Gananoque, Ontario | Roll Number (if known): 081400001036800 |
|---|--|

LEGAL DESCRIPTION

| | | | |
|---|---------------|---------------------|--|
| Part of Lot 13, Concession 1, Town of Gananoque in the United Counties of Leeds and Grenville | | | |
| Frontage (m/ft): 55.9 | Depth (m/ft): | Lot Area: 2640m2 | |

| | |
|------------------------------------|-------------|
| Current Official Plan Designation: | Residential |
|------------------------------------|-------------|

| | |
|-------------------------------------|-----------------------|
| Proposed Official Plan Designation: | Residential Exception |
|-------------------------------------|-----------------------|

| | |
|----------------------------------|--|
| Official Plan Policy (Existing): | The proposed amendment: <input checked="" type="checkbox"/> Changes, a policy in the Official Plan <input type="checkbox"/> Replaces, a policy in the Official Plan <input type="checkbox"/> Deletes, a policy in the Official Plan |
|----------------------------------|--|

Description of affected property:
 The property is located on the east side of River Street and abuts the Gananoque Waterfront Trail along the northern property line. The site has an area of approximately 2,640 square metres, with approximately 55.9 metres of frontage along River Street, and approximately 14.9 metres of frontage along the Gananoque River. The site is currently developed with a one-storey commercial building located in the northwest corner abutting River Street and the Gananoque Waterfront Trail. The commercial building was previously occupied by a retail use. The balance of the site is gravelled and the east portion of the site slopes towards the Gananoque River. Vehicular and pedestrian access to the site is provided from River Street. Vehicular parking spaces are provided to the south and east of the existing commercial building.

Official Plan Policy (Addition):
 The proposed amendment adds the following policy to the official plan if applicable (add additional sheet if further space is needed):
 official plan section 3.2 Planning WHERE WE LIVE PLANNING SUSTAINABLE RESIDENTIAL NEIGHBORHOODS 3.2.2.1 Permitted Uses (Residential)
 "Permitted residential uses shall include the full range of dwelling types from low density single detached dwellings to high density apartment dwellings. In addition uses which complement residential neighborhoods may also be permitted. These could include home occupation uses, institutional uses such as schools, nursing homes, group homes and churches, open space uses such as parks and community centres, neighbourhood commercial uses such as convenience stores, community-oriented fitness and recreation facilities, licensed daycares and bed and breakfast establishments. Non-residential uses which are permitted in a residential area shall be subject to Site Plan Control. Particular attention will be required to ensure that non-residential uses are compatible with the neighborhood in terms of architectural design and intensity of use."

If the proposed amendment changes, replaces, deletes or adds a policy, state the purpose of the proposed official plan amendment:

The purpose of this amendment is to add a site-specific Residential Exception to permit a community oriented, fitness and recreation facility

| | |
|--|--|
| Effect of Proposed Amendment on Designation: | <input checked="" type="checkbox"/> Changes, a designation of the Land Use Schedule of the Office Plan <input type="checkbox"/> Replaces, a designation of the Land Use Schedule of the Office Plan |
|--|--|

Name the designation proposed:

Residential Exception - 145 River Street,
to permit a Community Oriented Fitness and Recreation Facility as a neighbourhood commercial use.

Is the subject property currently the subject of any other application under the Planning Act such as a Development Permit, Consent or Approval of a Plan of Subdivision/Condominium? ☒ Yes ☐ No

If Yes, please provide the file number of each application, and its status (add additional sheet if further space is needed):

| | |
|------------------------|-------------------------|
| 1. Type of Application | Official Plan Amendment |
| Application File # | OPA8-25 |
| Status of Application | deferred |
| 2. Type of Application | Development Permit |
| Application File # | DP2025-13 |
| Status of Application | deferred |

Text – Proposed Amendment

State the text of the proposed amendment if a policy in the official plan is being changed, replaced or deleted, or if a policy is being added to the official plan (add additional sheet if further space is needed):

see attached

Where the proposed amendment changes or replaces a schedule in the official plan, attach the proposed schedule and the text that accompanies the schedule.

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize

Bethanie Matthews (print name) to be the applicant in the submission of this application.

Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

Agnes Tieken

Owner Name (Please Print)

Owner Name (Please Print)

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

CONSENT BY OWNER

I/We, Agnes Tieken, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

Signature of Owner_____
Signature of Owner_____
Signature of Witness (not applicant)_____
Date**DECLARATION OF APPLICANT**

(Print) I, Bethanie Matthews of the Town of Gananoque in the province of Ontario solemnly declare that:

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

Town of Gananoque, Ontariothis 18th day of November, 2025for the Corporation of theTown of Gananoque,Signature of a Commissioner, etc_____
Signature of Applicant**Office Use Only:**Roll No:
081400001036800

Official Plan Designation:

Residential

Development Permit Designation:

Residential

Other:

Access (Entrance Permits etc):

Water and Sewer Hookup
(Permits etc):

Other:

Other
Concurrent
Applications:

| | | | | | |
|---|--|--|--|---|--|
| <input type="checkbox"/> Cash-in-Lieu of Parking | <input type="checkbox"/> Condominium Approval | <input type="checkbox"/> Consent/ Severance | <input checked="" type="checkbox"/> Development Permit Approval | <input type="checkbox"/> Official Plan Amendment | <input type="checkbox"/> Subdivision Approval |
|---|--|--|--|---|--|

Date Application Received:

November 13, 2025Date Application Deemed
Complete:November 13, 2025

Fees Received:

\$1600 September 3, 2025

For additional details please contact: Brenda Guy, Manager of Planning and Development
Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
(613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca



APPLICATION FOR DEVELOPMENT PERMIT APPROVAL
Section 70.2 of the Planning Act, RSO 1990, as amended

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A Pre-consultation meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

ALL applications require the following:

- ☐ Complete application form signed including declaration of applicant*
- ☐ Proof of ownership, deed of property or offer to purchase and sale*
- ☐ Legal survey and/or Building Location Survey for the subject property*
- ☐ If the development is for commercial and/or employment, multi-residential – One (1) large scale paper copy of all plans shall be submitted along with one set of reduced 11" x 17" of all plans and your electronic copy. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Application fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Deposit fee as outlined in the pre-consultation form payable to the Town of Gananoque*
- ☐ Fees payable to the Cataraqui Region Conservation Authority, if applicable. Contact the CRCA for more information.

| CONTACT INFORMATION | | |
|---|--|----------------------------|
| Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application. | | |
| Name of Applicant: Bethanie Matthews | Complete Address including Postal Code: 343 Georgiana St, Gananoque, On, K7G1N1 | Phone: 613 929 9927 |
| | E-mail: ganfitness@outlook.com | |
| Name of Property Owner (if different than applicant): Agnes Tieken | Complete Address including Postal Code: 215 Marble Rock Rd, Gananoque, On, K7G 2V4 | Phone: 613 328 6653 |
| | E-mail: | |
| Architect/Designer/Planner: | Complete Address including Postal Code: | Phone: |
| | E-mail: | |
| Engineer: Eastern Enginnering | Complete Address including Postal Code: 207-100 Stowger Blvd Brockville, On, K6V 5J9 | Phone: 6133450400 |
| | E-mail: baiello@easteng.com / cjardinel@easteng.com | |
| Land Surveyor: | Complete Address including Postal Code: | Phone: |
| | E-mail: | |

| PROPERTY | | | |
|--|---------------|--|--|
| Street or Property Address (if applicable): 145 River St, Gananoque, Ontario, K7G2P8 | | Roll Number (if known): 081400001036800 | |
| LEGAL DESCRIPTION | | | |
| Lot/Con/Plan: Part of Lot 13, Concession 1, Town of Gananoque in the United Counties of Leeds and Grenville | | | |
| Frontage (m/ft): 55.9 | Depth (m/ft): | Lot Area: 2640m2 | |

SUBMISSION REQUIREMENTS

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

☒ **Site Plan(s)** including scaled accurate measurements of:

- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
- Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
- Dimensions and gross floor area of all building and structures to be erected;
- Existing structures to be retained, removed or relocated;
- Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
- Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
- Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
- Access driveways including curbing and sidewalks
- Proposed fire routes and fire route sign locations
- Dimensions and locations of loading zones, waste receptacles and other storage spaces;
- Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
- Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
- Location, type and size of any other significant features such as fencing, gates and walkways.

☒ **Drainage Plan(s)** including scaled accurate measurements of:

- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;

☒ **Landscape Plan(s)** including scaled accurate measurements of:

- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;

☒ **Site Servicing Plan(s)** including scaled accurate measurements of:

- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.

☒ **Grade Control and Drainage Plan(s)** including scale accurate measurements of:

- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
- Location of any creeks, ravines or watercourses with elevations and contours;
- Arrows indicating the proposed direction of flow of all surface water;
- Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
- Existing and/or proposed right-of-ways or easements

☒ Elevation and Cross-Section Plan(s) including scale accurate measurements of:

- Coloured elevation drawings or renderings of each side of the building to include materials being used and their consideration to the neighbourhood (PHOTOS OF EXISTING BUILDING ARE PERMITTED IF NO ADDITIONS ARE BEING UNDERTAKEN)
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
- Conceptual design of building;
- Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
- Exterior design including character, scale, appearance and design features of the proposed building;
- Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
- Photographs of the subject land and abutting streetscape on both side of the street

☒ Supporting Studies and Reports. Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

- | | |
|---|---|
| <input type="checkbox"/> Air, Noise or Vibration Study | <input type="checkbox"/> Sanitary System Design & sufficient capacity |
| <input type="checkbox"/> Archaeological Study | <input type="checkbox"/> Servicing Options Report |
| <input checked="" type="checkbox"/> Drainage and/or stormwater management report | <input type="checkbox"/> Source Water Protection – Risk Management Assessment |
| <input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area | <input type="checkbox"/> Sun/Shady Study |
| <input type="checkbox"/> Erosion and Sediment Control Plan | <input type="checkbox"/> Traffic Study |
| <input type="checkbox"/> Geotechnical Study and Hydrogeological Study | <input type="checkbox"/> Vegetation Inventory/Preservation |
| <input type="checkbox"/> Heritage Resource Assessment/Study | <input type="checkbox"/> Visual Impact Assessment |
| <input type="checkbox"/> Hydrogeology/Groundwater Study | <input type="checkbox"/> Water Distribution System & sufficient capacity |
| <input type="checkbox"/> Phase I Environmental, investigation if required | <input type="checkbox"/> Wave Uprush Study |
| <input type="checkbox"/> Form 1's – Record of Future Alteration (Water, Sewer and Storm) | <input checked="" type="checkbox"/> Supporting Land Use Planning Report |
| | <input type="checkbox"/> Other: |

NOTES TO OWNER/APPLICANT:

- Applications may be subject to any Town incurred costs over and above the fees set out (See By-law 2016-047) being a by-law to establish general fees and rates for various services provided by the municipality). This is in the form of a deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of various studies as outlined in the application.
- Cataraqui Region Conservation Authority (CRCA) - Applications may be subject to review and a separate cheque payable to the CRCA. Fees are identified on the CRCA website <https://cataraquiconservation.ca/pages/permit-fees>. The Town recommends that you consult with a Conservation Authority Officer prior to making application.
- The applicant/owner may be required to provide 100% security of the cost of works in the form of a Letter of Credit or Certified Cheque upon signing of the Development Permit Agreement for all Class III applications and any Class that may require a background study or legal registration of documents.
- Security will remain with the Town until such time as the works are completed for any agreement. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

Existing Use(s):

Flea Market

Length of time the existing use of the subject lands have continued: 30 Years

Has the property been designated as a Heritage Site? ☐ Yes ☒ NoIs the property presently under a Site Plan/Development Permit Agreement? ☐ Yes ☒ NoHas the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act? ☒ Yes ☐ NoHas the property ever been subject of an application under Section 70.2 (Development Permit By-law) of the Planning Act? ☐ Yes ☒ No

If the property has been subject of applications under the Planning Act noted above, provide the file number(s) and the status of the application?

by-law 1997-025 passed to
remove the holding symbol**Proposed Use(s):**

Residential Exception to permit a community oriented Fitness and Recreation Facility, including fitness facilities, exercise classes, sports gymnasium and range of complimentary recreational uses -- being Gan Fitness

Is the **Use** permitted or permitted subject to criteria as set out in the development permit by-law? ☒ Yes ☐ No

How has the applicable criteria have been addressed?

Residential Exception Discretionary Use Required

Is/Are variation(s) requested? ☒ Yes ☐ No

If yes, what variation is requested and why?

seeking designation to comply

Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law.

see attached planning report

Abutting Land Use(s) – east, west, north, south:

East - Gananoque River

West - Residential

North - Open Space

South - Residential and Neighbourhood Commercial

| | |
|---|---|
| Is the Development to be phased? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| What is the anticipated date of construction? | Jan 1, 2026 |
| Is the land to be divided in the future? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Are there any easements, right-of-ways or restrictive covenants affecting the subject land? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If yes, please provide details (and copies of covenants with application submission). | |

| Plan Details: Please ensure that measurements are consistent with plan | | | |
|--|-------------------------------------|--|--|
| <input checked="" type="checkbox"/> Residential | <input type="checkbox"/> Commercial | <input type="checkbox"/> Employment Lands/ Industrial | <input type="checkbox"/> Institutional |
| Building Coverage: 24 (%) 633 (sq.m) | | Landscape Coverage: 7 (%) 169 (sq.m) | |
| Building Height: 9.6m | No. of Storeys: 1 | No. of Units: 1 | Storage of Garbage: indoor |

| | | | | |
|---------------|---|-------------------------------|---|---------------------------------|
| Parking Area: | Existing Parking Surface | | | |
| | <input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other | | | |
| | Proposed Parking Surface: | | | |
| | <input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other | | | |
| | # of Existing Parking Spaces 0, scattered | # of New Parking Spaces 19 | # of Accessible Parking Spaces 2 | Total # of Parking Spaces 21 |
| | Dimension of Parking Spaces (m/ft): 3m x 6m | | Dimensions of Accessible Parking Spaces (m/ft): 3m x 6m with 1.5m access aisle | |

| | | |
|--------------------------------|--------------------------------|--------------------------------------|
| LOADING SPACES, if applicable: | Number of Loading Spaces: 0 | Dimensions of Loading Spaces (m/ft): |
|--------------------------------|--------------------------------|--------------------------------------|

| | | | |
|--|------------------------------|--|---|
| Heritage Tourist Inn/Bed and Breakfast/Short Term Accommodation*: | | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this an application for a Heritage Tourist Inn? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | |
| Number of Guest Rooms: | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 | <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 |
| NOTE: A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application. | | | |
| Is this an application for a Bed and Breakfast? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | |
| Number of Guest Rooms: | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 | <input type="checkbox"/> 3 |
| Is this an application for a Short Term Accommodation? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | |
| Number of Guest Rooms: | <input type="checkbox"/> 1 | <input type="checkbox"/> 2 | <input type="checkbox"/> 3 |

| | | | |
|---|--|---|--|
| Access*: | Potable Water*: | Sewage Disposal*: | Stormwater*: |
| <input checked="" type="checkbox"/> Municipal Street | <input checked="" type="checkbox"/> Town Owned/operated Water System | <input checked="" type="checkbox"/> Town Owned/Operated Sewage System | <input checked="" type="checkbox"/> Town Owned/Operated Sewers |
| <input type="checkbox"/> Existing Private Road/ Lane | <input type="checkbox"/> Private Well | <input type="checkbox"/> Private Septic and Tile Field | <input type="checkbox"/> Swales |
| <input type="checkbox"/> Existing Right-of-way | <input type="checkbox"/> River | <input type="checkbox"/> Other | <input type="checkbox"/> Ditches |
| <input type="checkbox"/> Unopen Road Allowance | <input type="checkbox"/> Other: | | <input type="checkbox"/> Other |
| <input type="checkbox"/> Other: | | | |
| Provide any applicable hook-up approvals and/or permit number(s) applicable to the above: | | | |

| Water Access (where access to the subject land is by water only) | | | |
|---|-----------------------------|-----------------------------------|-----------------------------|
| Docking Facilities (specify) | | Parking Facilities (specify) | |
| distance from subject land | <u>n/a</u> | distance from subject land | <u> </u> |
| distance from nearest public road | <u> </u> | distance from nearest public road | <u> </u> |

| EXISTING BUILDINGS: | | Building 1 - Primary | Building 2 - Accessory |
|----------------------------|---------------------------------------|-----------------------------|-------------------------------|
| | Type of Structure (ie: wood concrete) | concrete | |
| | Date Constructed: | n/a | |
| | Front Line Setback: | 0m | |
| | Rear Lot Line Setback: | 56m | |
| | Side Lot Line Setback: | 0m (north) | |
| | Side Lot Line Setback: | 20.1m (south) | |
| | Height: | 7.6 m | |
| | Dimensions: | | |
| Floor Area: | 392 sq.m | | |

Back Addition

Front Addition

| PROPOSED BUILDINGS: | | Building 1 - Primary | Building 2 - Accessory |
|--|---------------------------------------|----------------------|------------------------|
| | Type of Structure (ie: wood concrete) | wood/concrete | wood/concrete |
| | Proposed Date of Construction: | jan 2027 | jan 2026 |
| | Front Line Setback: | 0m | 0m |
| | Rear Lot Line Setback: | 50.9m | 56m |
| | Side Lot Line Setback: | 0m (north) | 0m |
| | Side Lot Line Setback: | 20.1m (south) | 20.1m |
| | Height: | 9.6m | 7.6m |
| | Dimensions: | | |
| | Floor Area: | 633 sq.m | 413 sq m |
| Attached Additional Page, if necessary | | | |

AUTHORIZATION BY OWNER

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize Bethanie Matthews (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

Agnes Teiken

Owner Name (Please Print)

Owner Name (Please Print)

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

CONSENT BY OWNER

I/We, Agnes Teiken, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

Signature of Owner

Signature of Owner

Signature of Witness (not applicant)

Date

DECLARATION OF APPLICANT

(Print) I, Bethanie Matthews of the Town of Gananoque in the province of Ontario solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

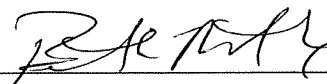
All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

Town of Gananoquethis 13th day of November, 2025.

Brenda Lene Geurkink-Guy,
a Commissioner, etc.
for the Corporation of the
Town of Gananoque.

Expires August 6, 2027.
Signature of a Commissioner, etc



Signature of Applicant

| | | |
|---|---|---|
| Office Use Only: | | Roll No: 0814000001036800 |
| Official Plan Designation: Residential | Development Permit Designation: Residential | Other: |
| Access (Entrance Permits etc): | Water and Sewer Hookup (Permits etc): | Other: |
| Other Concurrent Applications: | <input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> condo Approval <input type="checkbox"/> Consent/ Severance | <input checked="" type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Subdivision Approval |
| Date Application Received: November 13, 2025 | Date Application Deemed Complete: November 13, 2025 | Fees Received: \$1900 September 3, 2025 |

For additional details please contact: Brenda Guy, Manager of Planning and Development
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca

From: [Brenda Guy](#)
To: [Trudy Gravel](#)
Subject: FW: Hi Brenda
Date: November 13, 2025 3:59:25 PM

Brenda Guy
Manager of Planning and Development
613 382-2149 ext.1126

From: Harrie Tieken <tieken_ned@kingston.net>
Sent: November 13, 2025 3:57 PM
To: Brenda Guy <BGuy@gananoque.ca>
Subject: Re: Hi Brenda

Corrected with the right name.

Good Afternoon Brenda, I trust you are doing well.

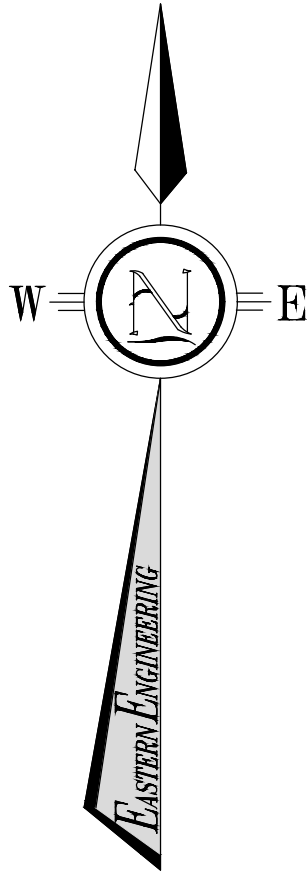
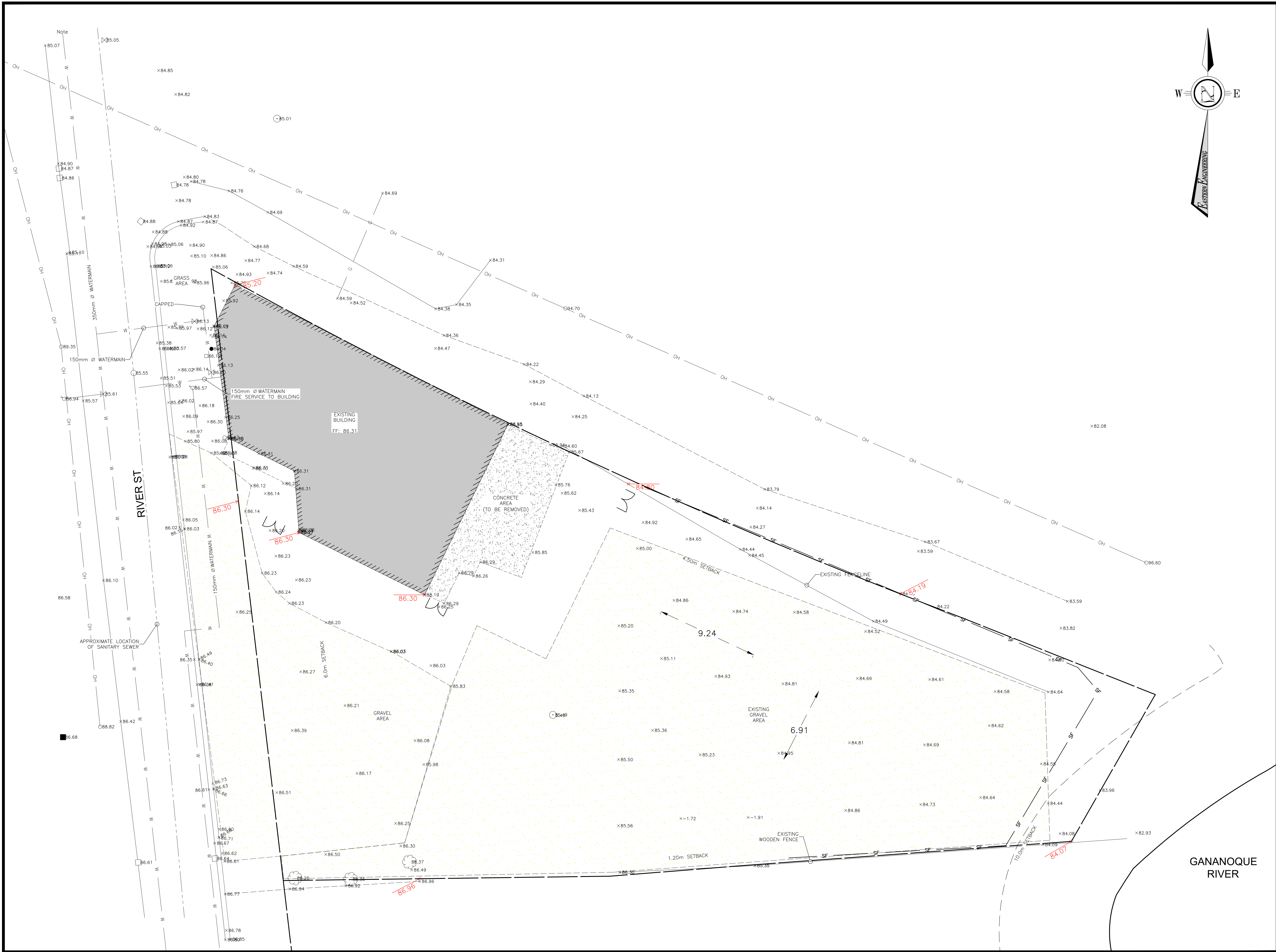
Just received a message from Beth with the request to renew the development permit by email to you.

I hereby agree and authorize Bethanie Matthews to submit this development permit and official plan applications as being the owner of 145 River Street, Gananoque.

Thank you very much Brenda !

Greetings,

Harrie and Agnes Tieken



BENCHMARK

NOTE:
CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE, LOCATION, AND CONFIGURATION OF EXISTING PLANT.

| No. | By | Date | Revisions |
|-----|-----|------------|---------------|
| 4 | CAJ | 2025-11-25 | TOWN COMMENTS |
| 3 | CAJ | 2025-11-19 | TOWN COMMENTS |
| 2 | BAC | 2025-07-04 | TOWN COMMENTS |
| 1 | CJ | 2025-04-22 | TOWN COMMENTS |
| 0 | BC | 2025-01-29 | SITE PLAN |

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Drawings are not to be scaled.



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Brockville, Ont. K6V 5J9

Telephone: (613) 345-0400
Facsimile: (613) 345-0008
www.EastEng.com

Project Title:
GAN FITNESS

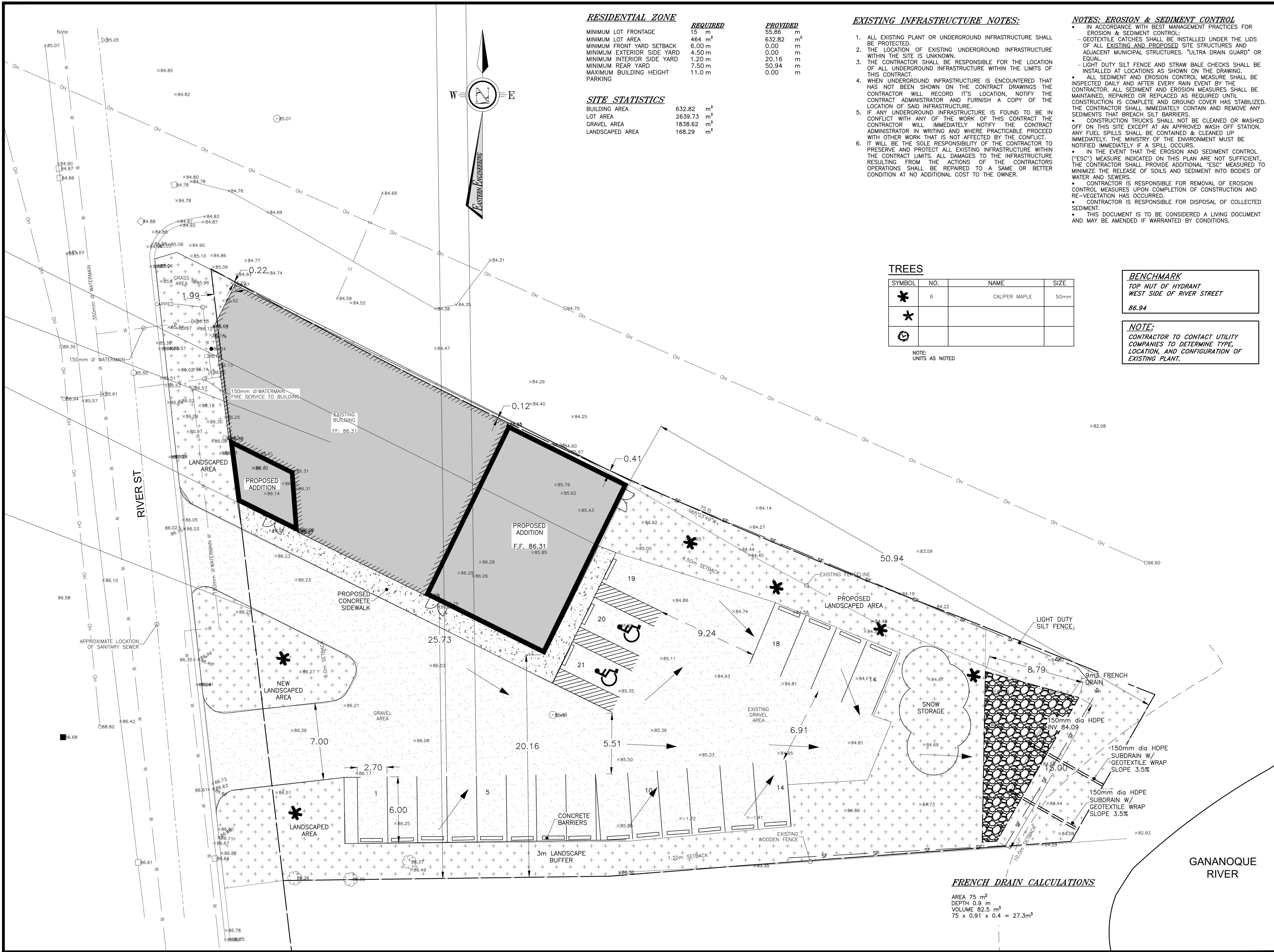
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EXISTING CONDITIONS

| | | | |
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| Drawn: BC | Checked: AP | Date: 2025-1-7 | Contract No.: . |

Scale:
Horizontal: 200
Vertical: 50
UNITS EQUAL METRES UNLESS OTHERWISE NOTED

Drawing No.: **C0**

File No.: 9027 C-3.dwg



LEGEND

- EXISTING TOPO GRADE
- PROPOSED GRADE
- EXISTING GRADE
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- BELL UNDERGROUND
- GAS UNDERGROUND
- CABLE UNDERGROUND
- ELECTRICAL UNDERGROUND
- OVERHEAD UTILITIES
- UTILITY POLE
- UTILITY ANCHOR
- UTILITY PEDISTAL
- PROPERTY BAR FOUND
- ROAD SIGN
- FENCE
- TREELINE
- TREE
- PROPERTY BOUNDARY
- EXISTING BUILDING
- EXISTING BUILDING TO BE REMOVED
- PROPOSED BUILDING

| No. | By | Date | Revisions |
|-----|-----|------------|---------------|
| 4 | CAJ | 2025-11-25 | TOWN COMMENTS |
| 3 | CAJ | 2025-11-19 | TOWN COMMENTS |
| 2 | BAC | 2025-07-04 | TOWN COMMENTS |
| 1 | CJ | 2025-04-22 | TOWN COMMENTS |
| 0 | BC | 2025-01-29 | SITE PLAN |

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Project Title: **GAN FITNESS**

Drawing Title: **SITE PLAN**

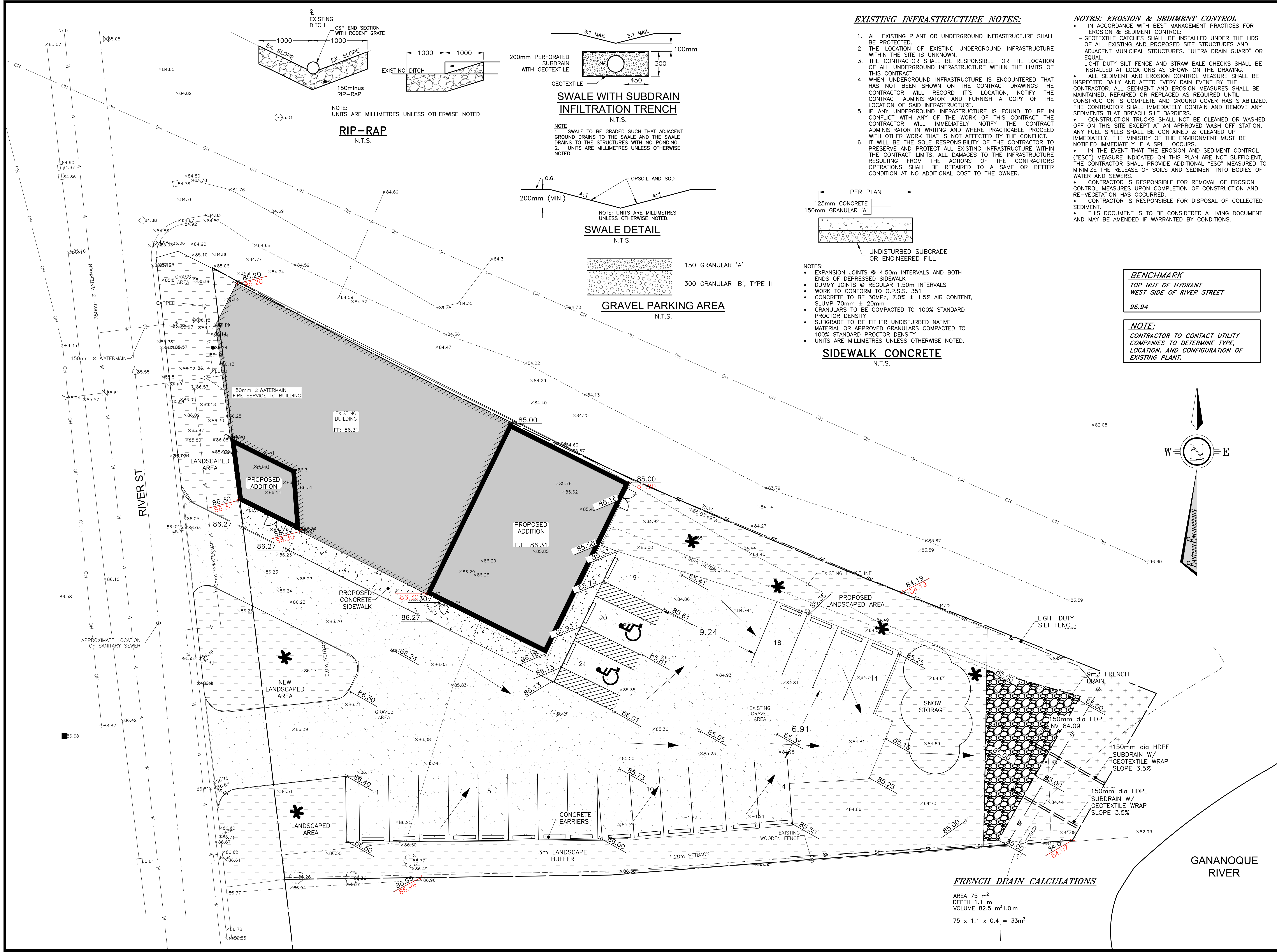
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|--------|---------|----------|-------------|
| BC | AP | CAJ | 9027 |

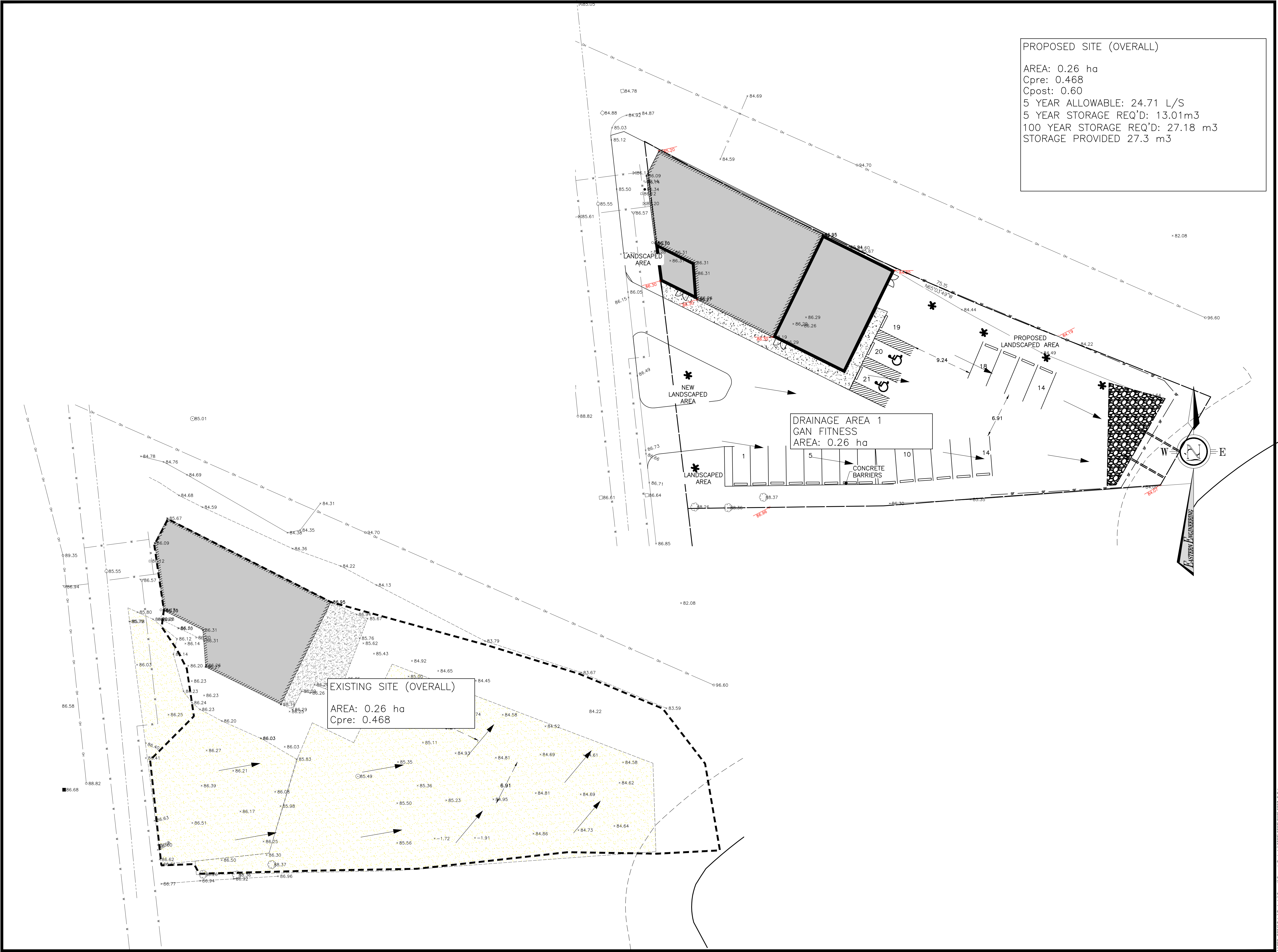
| Drawn | Checked | Date | Contract No. |
|-------|---------|----------|--------------|
| BC | AP | 2025-1-7 | |

Scale: 0 3.0 6.0
Horizontal: 150

C1

UNITS EQUAL METRES UNLESS OTHERWISE NOTED
File No.: 9027 C13.dwg





PROPOSED SITE (OVERALL)

AREA: 0.26 ha
Cpre: 0.468
Cpost: 0.60
5 YEAR ALLOWABLE: 24.71 L/S
5 YEAR STORAGE REQ'D: 13.01m3
100 YEAR STORAGE REQ'D: 27.18 m3
STORAGE PROVIDED 27.3 m3

LEGEND

EXISTING TOPO GRADE
PROPOSED GRADE
EXISTING GRADE
STORM SEWER
SANTITARY SEWER
WATERMAIN
BELL UNDERGROUND
GAS UNDERGROUND
CABLE UNDERGROUND
ELECTRICAL UNDERGROUND
OVERHEAD UTILITIES
UTILITY POLE
UTILITY ANCOR
UTILITY PEDISTAL
PROPERTY BAR FOUND
ROAD SIGN
FENCE
TREELINE
TREE

11.58
N49°15'50"E
PROPERTY BOUNDARY

EXISTING BUILDING
EXISTING BUILDING TO BE REMOVED
PROPOSED BUILDING

| No. | By | Date | Revisions |
|-----|-----|------------|---------------|
| 4 | CAJ | 2025-11-25 | TOWN COMMENTS |
| 3 | CAJ | 2025-11-19 | TOWN COMMENTS |
| 2 | BAC | 2025-07-04 | TOWN COMMENTS |
| 1 | CJ | 2025-04-22 | TOWN COMMENTS |
| 0 | BC | 2025-01-29 | SITE PLAN |

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Project Title:
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Drawing Title:
DRAINAGE AREA PLAN

| Design | Checked | Approved | Project No. |
|--------|---------|----------|-------------|
| BC | AP | CAJ | 9027 |

| Drawn | Checked | Date | Contract No. |
|-------|---------|----------|--------------|
| BC | AP | 2025-1-7 | |

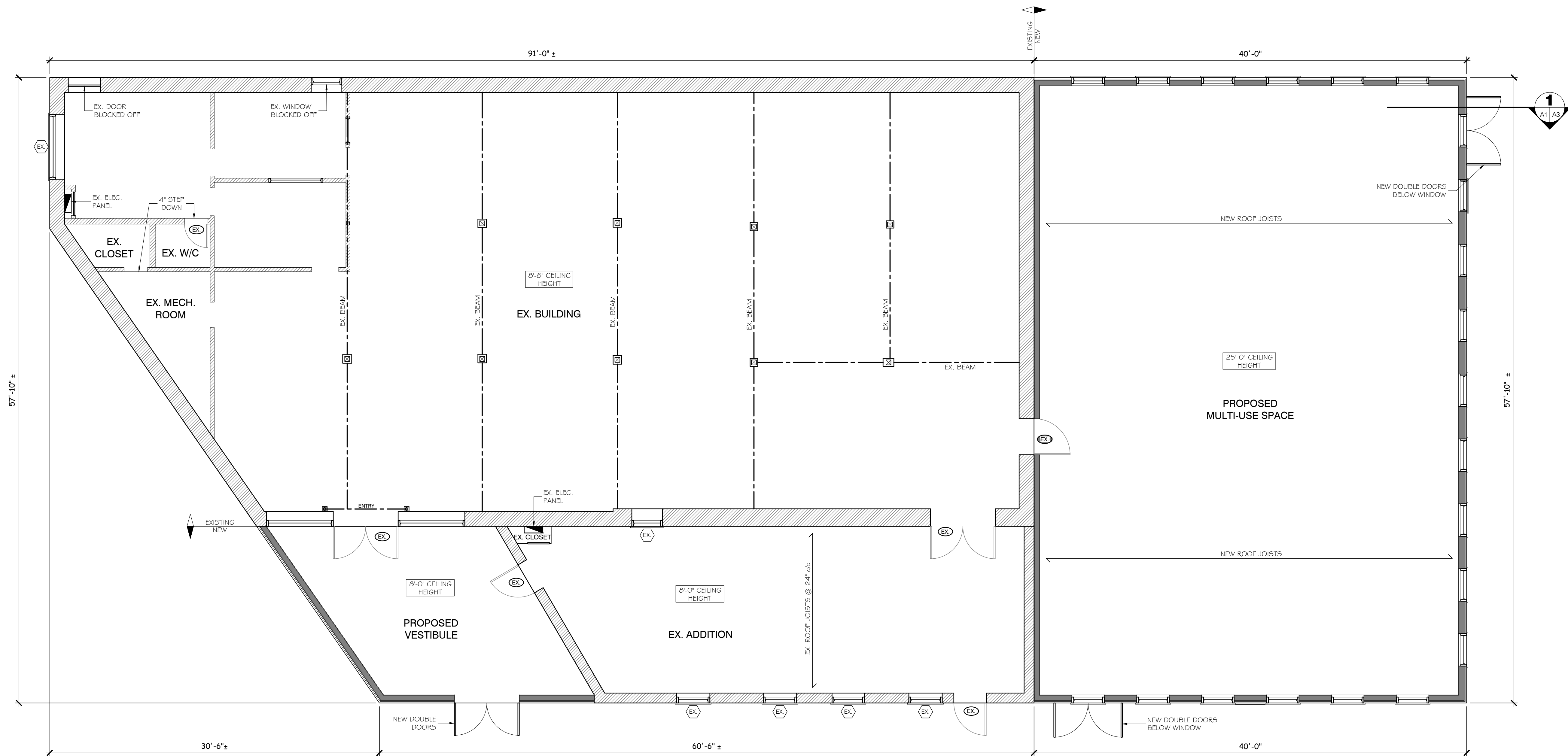
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0 3.0 6.0
Horizontal: 150

UNITS EQUAL METRES UNLESS OTHERWISE NOTED

File No.: 9027 C3.dwg

C3

LEP-0224 Data Projects Current Projects 0020, 0027, 0030, 0037, C3.dwg



EX. MAIN FLOOR PLAN
SCALE: 3/8" = 1'-0"

REFER TO SITE PLAN
FOR ALL DIMENSIONS

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2024 ONTARIO BUILDING CODE.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THESE PLANS TO THE DESIGNER FOR REVIEW AND/OR APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFEGUARDING AND LOCATING OF EXISTING UTILITIES AND STRUCTURES ON SITE.
5. INSTALL PRE-MANUFACTURED COMPONENTS AS PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
6. WHERE NOT NOTED ON DRAWINGS, SPACING ON FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
7. ALL WOOD FRAMING LUMBER SHALL BE GRADE-STAMPED AS SPF No.2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.
8. CONSULT WINDOW AND/OR DOOR SUPPLIER FOR THE REQUIRED ROUGH OPENING SIZES PRIOR TO START OF CONSTRUCTION.
9. HEATING, COOLING, PLUMBING AND ELECTRICAL DESIGN SERVICES SHALL BE SUPPLIED BY OTHERS & INSTALLATION SHALL BE AS PER THE ONTARIO BUILDING CODE.
10. ALL FINISH SPECIFICATIONS TO BE APPROVED BY OWNER.
11. SHOP DRAWINGS TO BE PROVIDED BY MANUFACTURER FOR REVIEW.

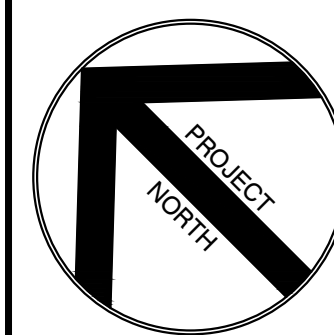
| NEW / EXISTING WALLS LEGEND | |
|-----------------------------|--------------------------|
| | EXISTING WALLS TO REMAIN |
| | NEW WALLS |

| 2 | AGP | 2025-09-02 | FOR REVIEW |
|-----|-----|------------|--------------------------|
| 0 | AD | 2025-04-28 | ISSUED FOR CLIENT REVIEW |
| No. | By | Date | Revisions |

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DRAWINGS ARE NOT TO BE SCALED



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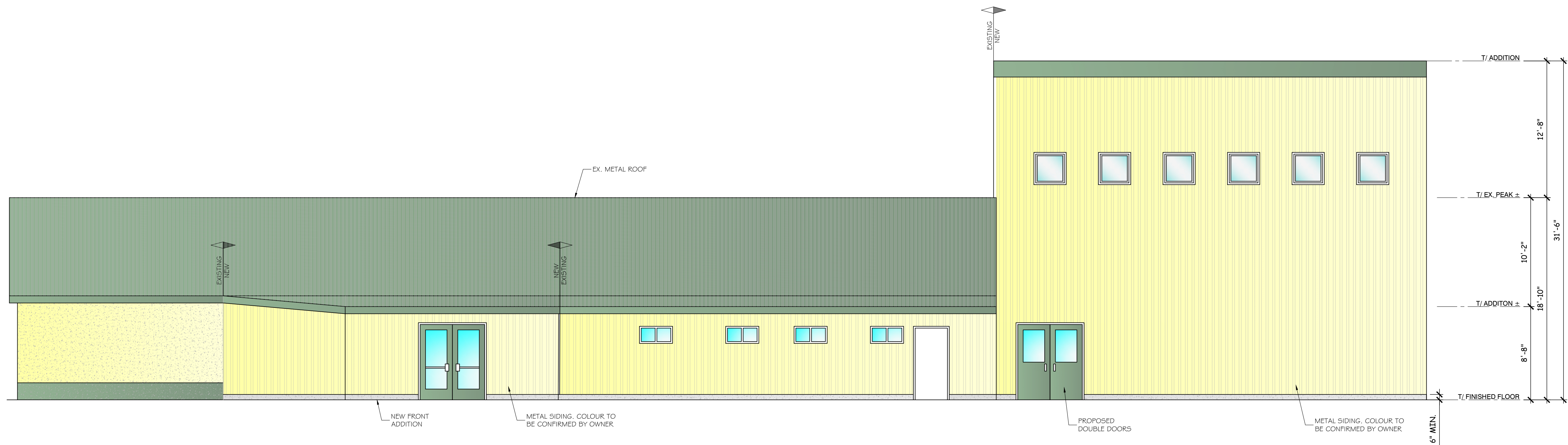
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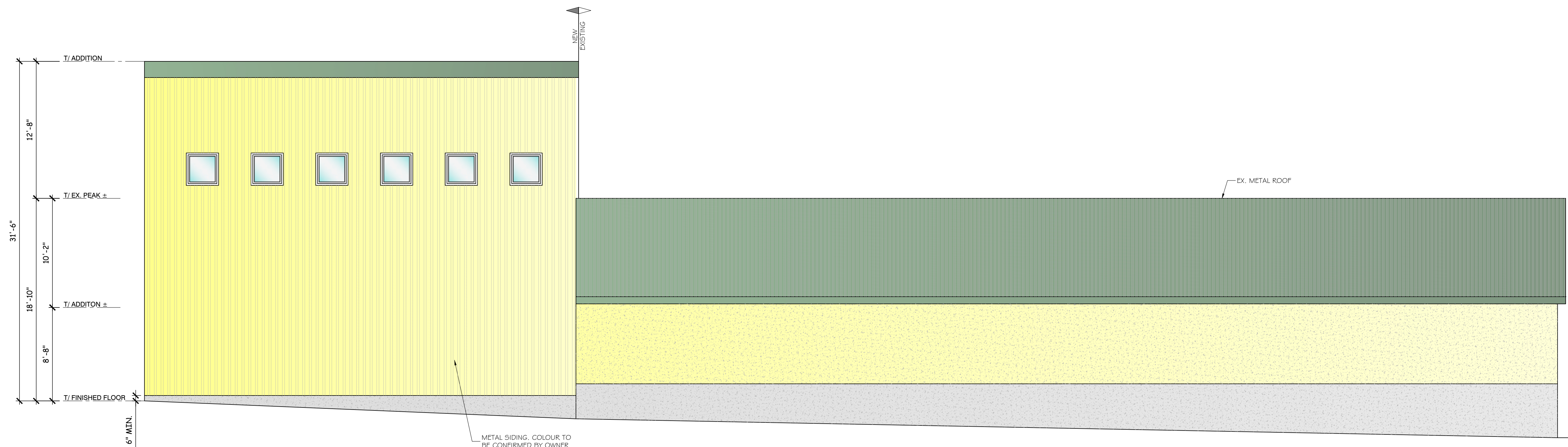
Project Title:
GANANOQUE FITNESS
145 River Street, Gananoque, ON

Drawing Title:
MAIN FLOOR PLAN

| | | | |
|----------------------|------------------------|------------------|----------------------|
| Design: | Checked: | Approved: | Project No.: 9027 |
| Drawn: AD | Checked: | Date: 2025-04-17 | Contract No.: 9027-1 |
| Scale: | Drawing No.: A1 | | |
| Horizontal: AS SHOWN | | | Vertical: AS SHOWN |
| REV. DATE: 5/1/2025 | | | |



SOUTH-WEST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH-EAST ELEVATION
SCALE: 3/8" = 1'-0"

GENERAL NOTES

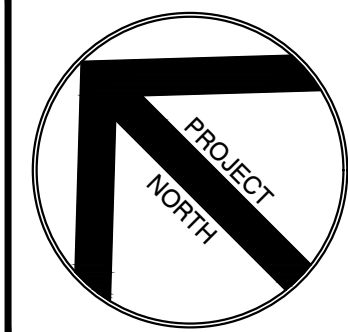
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| 2 | AGP | 2025-09-02 | FOR REVIEW |
|-----|-----|------------|--------------------------|
| 0 | AD | 2025-04-28 | ISSUED FOR CLIENT REVIEW |
| No. | By | Date | Revisions |

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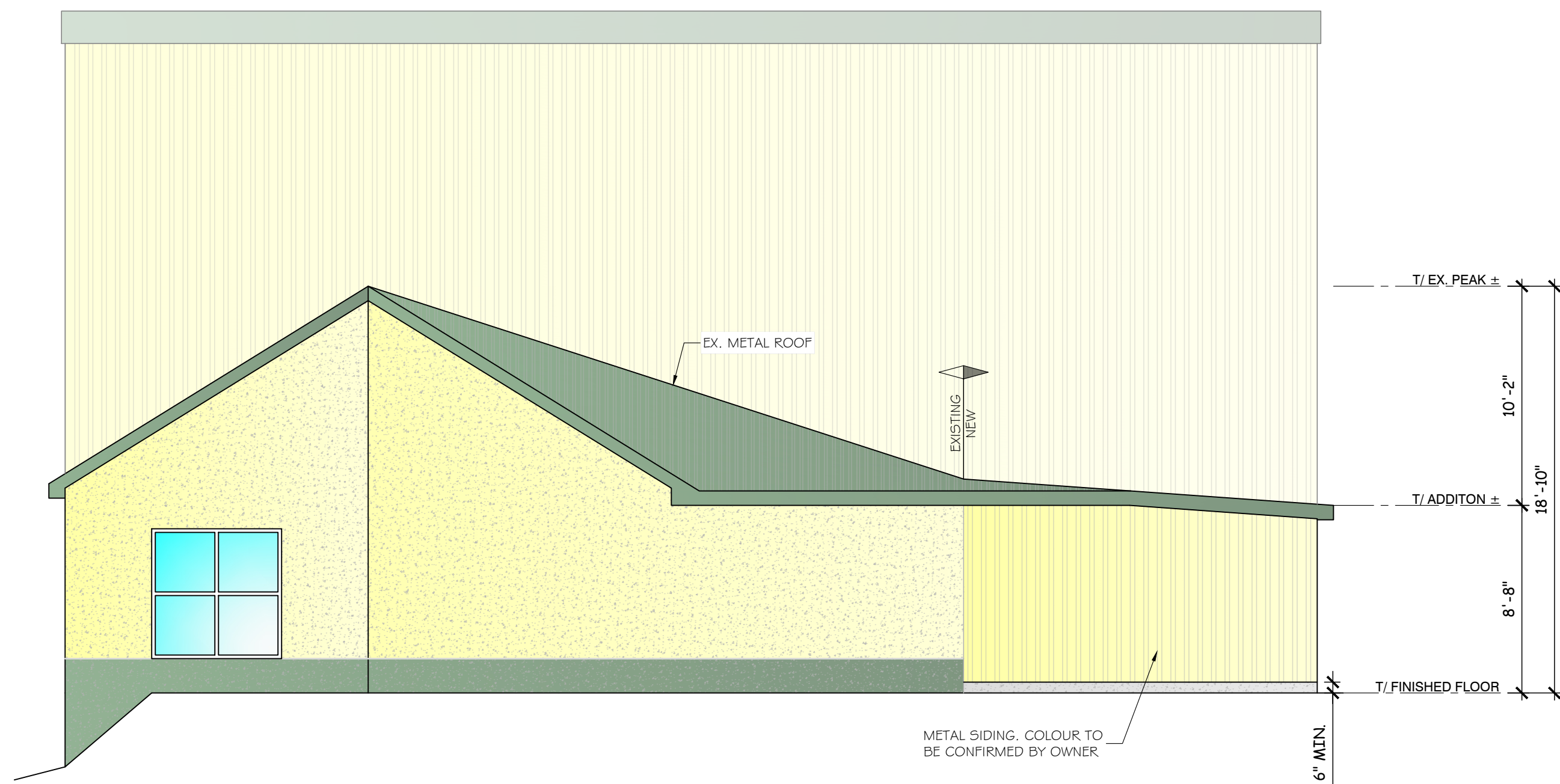
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GANANOQUE FITNESS
145 River Street, Gananoque, ON

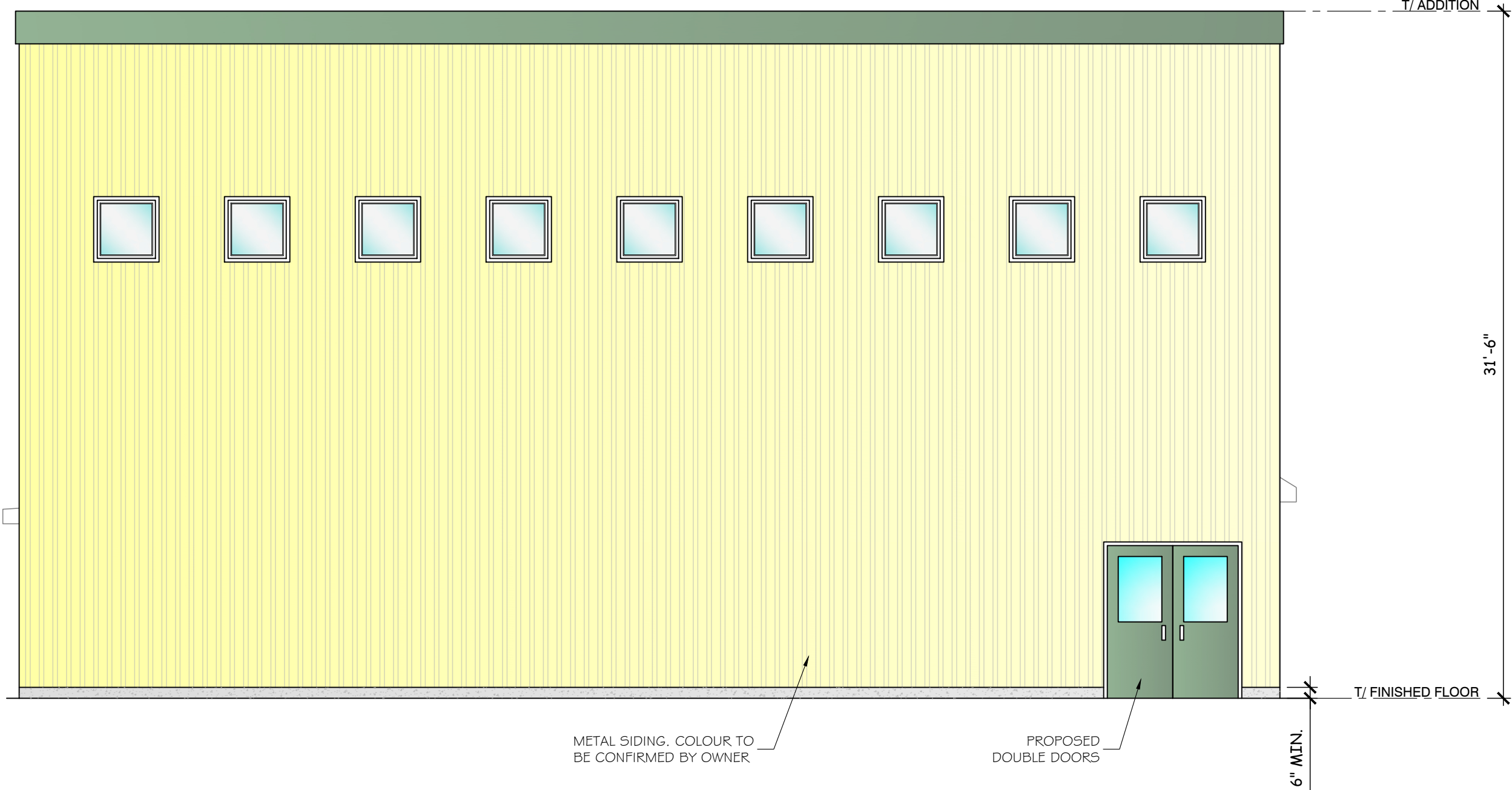
Drawing Title:

ELEVATIONS

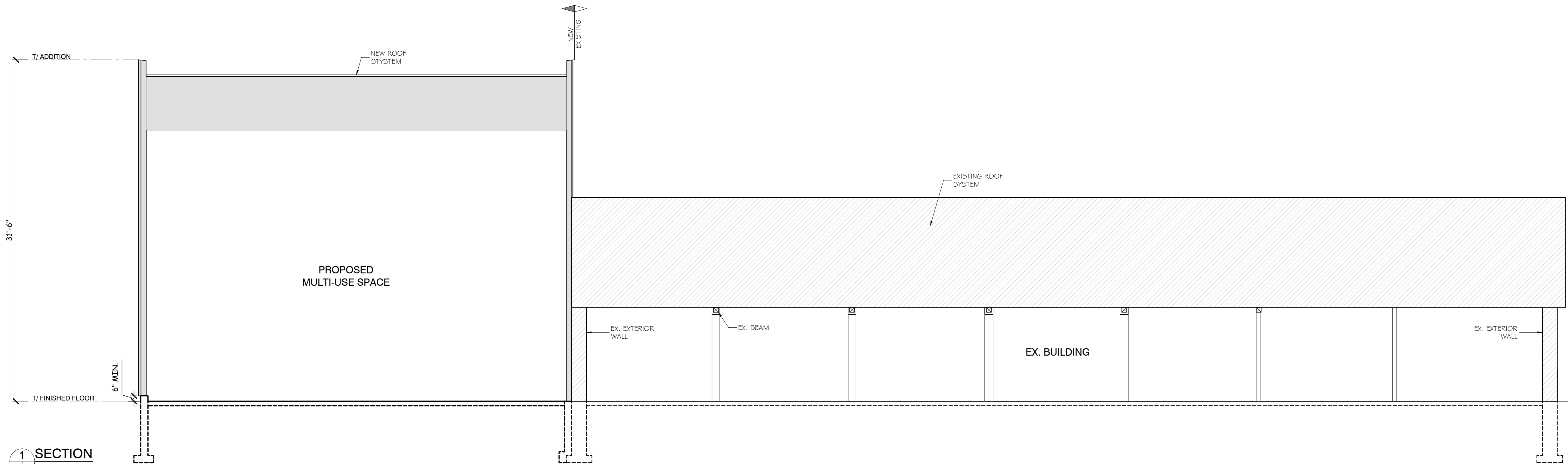
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| Drawn: AD | Checked: | Date: 2025-04-17 | Contract No.: 9027-1 |
| Scale: | Drawing No.: A2 | | |
| Horizontal: AS SHOWN | | | REV. DATE: 5/1/2025 |
| Vertical: AS SHOWN | | | |



NORTH-WEST ELEVATION
SCALE: $\frac{3}{8}" = 1'-0"$



SOUTH-EAST ELEVATION
SCALE: $\frac{3}{8}" = 1'-0"$



1 SECTION
A1 A3 / SCALE: $\frac{3}{8}" = 1'-0"$

GENERAL NOTES

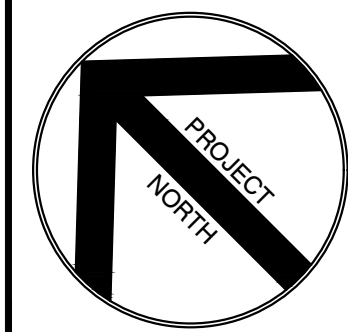
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Telephone: (613) 345-0400
Facsimile: (613) 345-0008
www.EastEng.com

Project Title:

GANANOQUE FITNESS

145 River Street, Gananoque, ON

Drawing Title:

**ELEVATIONS
& SECTION**

| | | | |
|---|----------|---|-------------------------|
| Design: | Checked: | Approved: | Project No.: 9027 |
| Drawn: AD | Checked: | Date: 2025-04-17 | Contract No.: 9027-1 |
| Scale: | | Drawing No.: | |
| <div><div></div><div>Horizontal: AS SHOWN</div></div> <div><div></div><div>Vertical: AS SHOWN</div></div> | | <div>A3</div> <div>REV. DATE 5/1/2025</div> | |

PLANNING RATIONALE REPORT

Official Plan Amendment and Development Permit (Zoning) Amendment

Fitness and Recreation Centre, being Gan Fitness

145 River St, Gananoque, Ontario

Date: November 6, 2025

Table of Contents

- 1.0 Introduction and Purpose of this Amended Rationale
 - 2.0 Site and Context Overview
 - 3.0 Policy Justification: Conformity with the Gananoque Official Plan
 - 4.0 Compatibility and Site Analysis
 - 5.0 Develop Permit (Zoning) Rationale
 - 6.0 Conclusion
-

1.0 Introduction and Purpose of this Planning Rationale

This document serves as an Planning Rationale prepared in support of an application for a **Official Plan Amendment and Development Permit (Zoning) Amendment** to introduce a **Residential Designation, site-specific discretionary use**— Fitness and Recreation Centre (the “Proposed Centre”)—at **145 River St, Gananoque, Ontario**.

This rationale is submitted subsequent to an earlier application that proposed a General Commercial rezoning. While staff and the Planning Committee were strongly supportive of the proposed business activities and recognized the site’s suitability for a recreation facility, there was a clear directive to maintain the existing Residential Zoning designation.

The purpose of this new application and rationale is to respond directly to this feedback by demonstrating that the proposed use can be permitted as a site-specific exception to the

residential zone, thereby fulfilling the following critical planning objectives without necessitating a full commercial designation. It aligns with the objectives outlined in the Town's Official Plan and Zoning By-law by fostering community well-being, promoting active living, enhancing land-use compatibility, and revitalizing an underutilized site.

The subsequent application has site-plans, stormwater reports, elevation drawings and the Cataraquoi Conservation Authority have already submitted comments on the proposed centre and additions, all which are still valid for this application.

An Official Plan Amendment and Development Permit (Zoning) Amendment is proposed to change the site from Residential – legal non-conforming (flea market) to a Residential – Exception to allow a fitness and recreation center.

Gan Fitness is an established local business dedicated to improving the holistic health and wellness of the Gananoque community. We are far more than a traditional fitness facility; we operate as a vital piece of local social infrastructure—a Community Health Hub—that currently delivers critical services despite significant operational challenges.

Gan Fitness is not to be equated with the large, impersonal, high-volume fitness chains typically found in regional power centers. Our proposal represents a model of local commercial use that functions as a piece of essential social infrastructure, deeply complementing the surrounding residential neighborhood.

Despite our current location being on the second story of an industrial building, down a dead-end road lacking sidewalks or streetlights, we have fostered an inclusive and robust community presence:

- **Serving Diverse Demographics:** We currently offer dedicated fitness classes for adults, specialized sport-specific training for local youth teams, and essential fitness programs tailored for older adults.
- **Essential Developmental Services Support:** We actively partner with and provide a supportive space for developmental service groups, including Ventures Group Home and Community Living. We offer a safe location for these organizations to bring their clients and provide specialized training and support to facilitate their engagement in physical activity, ensuring these vulnerable residents remain active and supported right here in Gananoque.
- **Community Engagement & Economic Showcasing:** Beyond our facility walls, we proudly run yearly community-wide events, such as the Amazing Race Gananoque. This event is designed to showcase the community, drive local engagement, and highlight many of the town's local businesses.

The proposed relocation and new facility are driven by the vision to create a permanent,

inclusive, and highly accessible location to expand our role as a health hub:

- **Expanded Recreational Opportunities:** The new space will allow us to introduce dedicated structured and drop-in recreation, including popular activities like basketball, volleyball, and pickleball, transforming the facility into a recreational resource for all ages.
- **Strategic Youth Development Partnerships:** We will partner directly with local youth organizations, such as the Canoe Club, basketball and soccer clubs and youth hockey teams, providing them with a dedicated, safe, indoor space to conduct on and off-season strength training and skill development.
- **Addressing Local Childcare Gaps:** We will offer affordable summer youth fitness programs scheduled before and after local day camps. This structured offering is specifically designed to help local families manage childcare issues and transition schedules during the summer months.
- **Health and Fitness Programming:** We will continue to expand our offering of fitness programs and specialized classes (Yoga, Pilates, Personal Training) to meet the full spectrum of community wellness needs, ensuring Gananoque residents do not have to travel out of town for high-quality health resources.

The new location will not only resolve the accessibility and safety issues of our current industrial site but will dramatically increase our capacity to deliver these essential, community-specific social services, solidifying Gan Fitness as a cornerstone of public health and social connection in the residential area.

In essence, the proposed Gan Fitness is an essential local service whose operational scale and specialized programming are directly tailored to meet the social, health, and economic needs of its immediate community, making it the ideal form of local commercial use for this site.

2.0 Site and Context Overview

The site at 145 River St is uniquely positioned to serve as a local amenity anchor for the surrounding residential area.

| Detail | Description |
|-------------------|-----------------------------|
| Municipal Address | 145 River St, Gananoque, ON |

| | |
|---|--|
| Official Plan Designation | Residential |
| Proposed Official Plan Designation | Residential Exception |
| Existing Development Permit (Zoning) | Residential (Flea Market enjoys legal non-confirming) |
| Proposed Development Permit (Zoning) | Residential Exception to permit Fitness and Recreation Centre, Community Oriented |
| Site Character | Located in a predominantly residential area with neighbourhood commercial uses to the south (Bed and Breakfast) and open space uses to the east and north. |
| | |
| | |

The proposed development will consist of two additions to the existing one-storey commercial building and the establishment of a fitness and recreation centre in the adaptively reused space. As noted by Staff at the Planning Advisory Meeting on October 28th, 2025: **“Staff appreciate that this specific property given the size, the existing building and flexibility for an addition, provides for an ideal building for the proposed use.”**

3.0 Policy Justification: Conformity with the Gananoque Official Plan

The proposal is assessed under the Official Plan's Residential Designation and is designed to leverage the Plan's guiding principles for healthy community development.

3.1 Overarching Vision and Guiding Principles (OP Section 2.0)

| OP Section & Principle | Rationale for Conformity (The Proposed Centre) |
|--|---|
| 2.1 Our Vision is to preserve and enhance | The low-impact, one-storey building |

| | |
|--|---|
| <i>the Town's unique "small town" heritage, preserve our historic and environmental character, and provide a high quality of life through a sustainable development pattern.</i> | maintains the existing character of the building and neighbourhood. Reuse of the existing commercial site demonstrates efficient and sustainable land-use planning. The gym is consistent with other health and well-being uses in the area (e.g., Gananoque Canoe Club across the river). |
| <i>2.2 (2) The waterfront will be maintained and improved as a community focal point and will be enhanced through balanced, sustainable public and private development which creates an attractive, accessible and useable waterfront for both local residents and visitors.</i> | Set back approx 56 meters from the Gananoque River. It supports recreational amenity by connecting to the Gananoque Trails and River access, promoting walking, running, kayaking, and biking for residents. |
| <i>2.2 (4) While striving to maintain historical, architectural character and uniqueness, we are committed to intensifying and enhancing the quality of our residential neighborhoods through a range of housing options, densities, and transitions from adjoining land uses</i> | Site changes are concentrated on the eastern portion of the site, furthest from residential uses. A 3-meter landscape buffer will be provided along the southern lot line to ensure appropriate transition. |
| <i>2.2 (7) We are committed to increasing the diversity of arts, cultural and recreational opportunities.</i> | The proposed Gan Fitness directly supports this by providing inclusive, year-round fitness and social opportunities. It features design elements (no stairs/multiple levels) for accessibility, particularly for seniors, and offers much-needed youth programming. |
| <i>2.2 (8) We will protect our natural environment.</i> | The proposed development is adequately separated from the Gananoque River, protecting the natural environment. The proposed stormwater management measures will ensure no negative impacts to groundwater or surface water. The proposed development represents the adaptive reuse and modest expansion of the existing building, minimizing land |

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|---|--|
| | consumption, and thereby protecting the environment. |
| <p>2.3 1. Future development shall occur in the Town's Settlement area. The Town shall ensure that development makes efficient use of land and resources for the purposes of economical service and infrastructure provision, freight supportive and active transportation, efficient energy promotion, and climate change mitigation and adaptation.</p> <p>2 Future development shall be encouraged within the built up area. The Town shall endeavor to set minimum targets for intensification and redevelopment within the built up area.</p> <p>4. It is the intent of this Plan to achieve an increase in the density and intensity of land use through the use of compact form, a mix of land uses, and redevelopment or re-use of existing vacant or underutilized buildings and properties. This intensification is encouraged in the Settlement Area in accordance with the policies of this Plan. In particular, intensification is encouraged on sites: a. that are no longer viable for the purpose for which they were intended such as former commercial, industrial and institutional sites; b. where the present use is maintained and the additional of residential uses can be achieved in a safe and complementary manner; and c. with suitable existing or planned infrastructure and public service facilities.</p> | <p>The development is within the Town's Settlement Area. Repurposing an existing structure significantly reduces the carbon footprint compared to new construction and supports the Town's goal for intensification and re-use of underutilized buildings.</p> <p>For the expansion, incorporate energy-efficient lighting, modern HVAC systems, and water-saving features, aligning the project with contemporary sustainability standards.</p> |

3.2 Residential Designation Policies (OP Section 3.2)

| OP Section & Policy | Rationale for Conformity (Non-Residential Component) |
|--|--|
| <p>3.2.1 Goal: Promote a balanced supply of housing to meet the present and future social and economic needs of all segments of the community while providing opportunities to develop new residential uses in mixed use buildings as well as non-residential neighbourhood components such as schools, community facilities, places of worship, parks and local commercial uses.</p> | <p>The facility meets the present and future social and economic needs by serving a diverse cross-section (seniors, youth, families). It functions as an essential non-residential neighbourhood component that supports local economic activity.</p> |
| <p>3.2 (4) Ensure that residential intensification, infilling and redevelopment within existing neighbourhoods is compatible with existing and planned character;</p> | <p>The fact that the building is already commercial means that a non-residential use is <i>part of the established and existing character</i> of the surrounding residential area. The neighborhood has already adjusted to a commercial presence here. Residential intensification guidelines encourage services and amenities that support residents within walking distance, and a fitness and recreation center provides a valuable local community-oriented service that promotes that residents work, live and play close to home.</p> |
| <p>3.2 (7) Promote the design of complete streets to reduce the need to drive and encourage walking, cycling, and active transportation;</p> | <p>The site is directly beside the Gananoque Trail System, strongly encouraging members to walk, cycle, or use other non-automotive forms of transportation.</p> |
| <p>3.2 (8) Permit a range of activities in residential areas including home-based</p> | <p>The proposed Gan Fitness is designed to operate as an essential community</p> |

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| <p><i>businesses, local commercial, bed and breakfasts, Heritage Tourist Inn group homes, churches, schools, community facilities and open space.</i></p> | <p>resource, reducing isolation for seniors, providing safe recreational space for youth, and retaining local economic activity. Through collaboration, such as with seniors' groups, the facility will offer tailored fitness and recreation—including group classes, indoor pickleball, and dedicated space for local walk or kayak clubs—to reduce isolation and support active aging. Simultaneously, it will provide a much-needed recreational space for youth to engage in physical activity, sport, and mental wellness through dedicated programming and organized drop-in sessions. Crucially, the addition of a new, high-quality fitness facility strengthens Gananoque's attractiveness to new residents and visitors. As prospective homeowners and renters increasingly seek communities that prioritize health, wellness, and quality of life, the Centre provides a significant amenity. This local presence reduces the necessity for current residents to commute to Kingston or Brockville for their exercise needs, thereby retaining both economic activity and vital community relationships within Gananoque. By serving a diverse cross-section of residents, including seniors, rehabilitation clients, and families, the facility ensures a multi-generational improvement in quality of life.</p> |
| <p>3.2.2.1 Permitted Uses:</p> <p><i>Uses which complement residential neighbourhoods are also permitted, subject to the Development Permit By-law. These include home-based businesses or home industry uses, institutional uses such as schools, nursing homes, group homes and churches, open space uses such as parks and community centres, neighbourhood</i></p> | <p>Gan Fitness fundamentally will complement a residential neighborhood by acting as a health-focused community hub that enhances the quality of life, sustainability, and economic value of the area.</p> <p>Gan Fitness is fundamentally distinct from the large, corporate-owned fitness chains often associated with regional commercial</p> |

commercial uses such as convenience stores, licensed daycares and bed and breakfast establishments.

centers. Our model functions as a true piece of local commercial, social infrastructure that is essential to the immediate residential neighborhood, rather than an amenity attracting regional traffic.

Key Differentiating Factors:

- **Tailored to the Local Community (Scale and Retention):** Unlike high-volume chain gyms that rely on oversubscription and high attrition, Gan Fitness is sized specifically to serve the population of Gananoque. Our business relies on member retention and fostering a supportive, less intimidating environment, not volume sales. This results in fewer peak-hour pressures and a more stable, predictable operational tempo that is compatible with a residential setting.
- **Personalized, Relational Service:** Our staff and trainers are neighbors and community members. This ensures a level of personalized attention and accountability that is impossible in an impersonal, large-scale franchise. We are positioned to offer specialized programs—such as focused fitness for seniors, accessible youth training, and unique local classes—that cater directly to the specific public health needs of this community.
 - **Deep Community Inclusion:** We are positioned to offer dedicated, accessible fitness opportunities for group homes and developmental service groups, such as Community Living or

| | |
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| | <p>Ventures Group Homes. This commitment ensures that vulnerable residents receive necessary recreational services locally, preventing the need for costly and inconvenient travel to larger municipalities like Kingston or Brockville.</p> <ul style="list-style-type: none">- Family and Youth Support: To directly address local family needs, we will offer structured youth fitness programs, camps, and activities before and after school hours. This serves as a vital component of childcare support for local families and instills lifelong health habits in the town's youth.- Fostering Social Cohesion: Gan Fitness will act as a true community hub by hosting teen and adult recreational opportunities, including organized leagues and drop-in times for popular activities like basketball, volleyball, and pickleball. This diversification of offerings creates organic social connections, reduces isolation, and makes the facility an attractive venue for multi-generational community activity. <ul style="list-style-type: none">● Improves Resident Health and Wellness: It provides the necessary infrastructure for physical activity, which is a key component of public health. |
|--|---|

| | |
|--|--|
| | <p>Easy, local, access encourages residents—particularly seniors, youth, and families—to stay active.</p> <ul style="list-style-type: none"> • Supports Walkability and Active Transportation: Placing a gym within or adjacent to a residential area drastically reduces reliance on private vehicles for daily needs, encouraging walking or biking, which is key to creating a complete, sustainable community. • Enhances Property Value and Attractiveness: Proximity to high-quality amenities, especially those centered on health and lifestyle, is a major factor for prospective residents, increasing demand and stabilizing/boosting local property values. • Retains Local Spending: By offering a needed service locally, it prevents residents from traveling to other municipalities (like Kingston or Brockville) for exercise, directly keeping spending and economic activity within the town. <p>In essence, a well-planned gym functions as an essential piece of social infrastructure that supports municipal policy goals related to health, sustainability, and economic growth, making it a perfect fit for a residential area.</p> |
| <p>3.2.2.2 Non-Residential Uses- Local commercial uses such as small local retail plazas and convenience stores, schools,</p> | <p>Given the site's existing commercial use, the proposed change represents a</p> |

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| <p><i>places of worship and community facilities are permitted in the Residential Policy Area. Existing non-residential uses shall be designated in the Development Permit By-Law. All new non-residential uses shall be subject to a Development Permit By-Law . Proposed nonresidential uses shall be reviewed to ensure compatibility with the existing and planned character, scale and adequate servicing. Proponents shall provide sufficient evidence to ensure that new development will not result in increased neighborhood traffic, noise or other emissions and will contribute to quality of life for local residents.</i></p> | <p>continuation rather than an intensification of activity. The anticipated traffic generation from a gym of this scale would be modest, particularly when compared to the peak, weekend operations of the flea market.</p> <p>Parking can be effectively managed within the site's capacity, and noise levels from indoor fitness activities will be negligible to adjacent properties. Also, moving the gym closer to the interior of the Town from its current location, will encourage members to walk or use alternative, non-automotive forms of transportation.</p> |
| <p><i>3.2.2.3 Waterfront Residential Development</i> <i>Residential development along the waterfront is permitted within the Residential Policy Area provided that waterfront development meets all relevant policies of this plan, including Lowertown Policies, Rural and Open Space policies, and Natural and Human Made Hazard Policies, as well as the provisions of the implementing Development Permit By-Lawhigh water mark Development Permit By-Law.</i></p> | <p>The Cataraqui Conservation Authority provided comments with regards to natural hazards under O.Reg 41/24. The CRCA does not object to the application.</p> |

Development Criteria (Section 5.4.4 OP)

The proposed Gan Fitness redevelopment satisfies all relevant criteria outlined in Section 5.4.4 of the Official Plan, confirming the compatibility and appropriateness of the proposal for the site.

I. Access, Infrastructure, and Safety

| Criteria | Compliance and Justification |
|----------|------------------------------|
| | |

| | |
|---------------------------------------|--|
| 1. Provision of Safe Access | Access is provided from River Street, identified as a local collector road on Schedule H of the OP. |
| 2. Adequate Off-Street Parking | 21 on-site parking spaces are provided, including two barrier-free space, located to the side and rear of the existing building, accessed from River Street. |
| 3. Barrier-Free Access | Two barrier-free parking space is designated as required by the Development Permit By-law. Building additions will comply with the Ontario Building Code for full accessibility. |
| 4. Emergency Vehicle Access | The proposed site layout meets all minimum standards to ensure the safe and efficient maneuvering of emergency vehicles for public and private property protection. |
| 5. Availability of Municipal Services | No changes or upgrading to municipal services (water, sewer, fire, police, roads) are required for the building, thereby minimizing unnecessary infrastructure costs for the Town. |
| 16. Physical Suitability of the Land | The site is physically suitable, offering adequate lot area and topography, sufficient access to River Street, municipal services, and adequate off-site parking to support the proposed commercial sports and recreation establishment. |

II. Environmental, Stormwater, and Heritage Protection

| Criteria | Compliance and Justification |
|--|---|
| 6. Adequate Drainage/Stormwater Management | The Stormwater Management Report confirms that adequate drainage, stormwater management, and erosion control measures are planned or present on the site. |

| | |
|--|--|
| 11. Protection of the Environment | The project avoids air, soil, or water pollution through the adaptive reuse of an existing commercial building. The SWM Report confirms no adverse impact on the Gananoque River will result. |
| 12. Preservation of Trees | The subject site does not currently contain trees. The proposal enhances the site by planning the addition of six 50 mm caliper maple trees along the north lot line and River Street frontage. |
| 14. Protection of Natural Resource Values | The development is sufficiently set back approximately 56 metres from the Gananoque River and will not pose adverse impacts to groundwater or surface water, preserving the natural heritage value of the watershed. |
| 15. Conserving Cultural Heritage Resources | No cultural heritage resources are identified on or in proximity to the site as confirmed by the Town's Municipal Register. |

III. Aesthetic, Landscaping, and Safety Enhancements

| Criteria | Compliance and Justification |
|---------------------------------------|---|
| 8. Landscaping, Privacy, and Setbacks | The 56 m setback from the Gananoque River, coupled with proposed landscaping and the French drain, ensures adequate separation from natural features and development constraints (noise/vibration). |
| 9. Adequate Exterior Lighting | Sufficient exterior lighting will be provided for both the building and the parking area to enhance safety and usability after dark. |
| 10. Control of Signs | Any on-site signage will be scaled appropriately to be in character |

| | |
|----------------------------------|---|
| and Advertising | with the intended use and surrounding neighborhood. |
| 17. Safety and Security Criteria | The development incorporates sufficient lighting, clear signage, and clear lines of sight. The adaptive reuse and complementary mix of uses (commercial, residential, open space) are appropriately located. Pedestrian routes will be provided within the site to ensure accessibility and safety near the building and parking areas. |

4.0 Compatibility and Site Analysis

This section analyzes the site-specific measures taken to ensure the commercial use operates harmoniously within the surrounding Residential neighbourhood.

4.1 Land Use and Aesthetic Compatibility

- **Controlled Use:** The site-specific zoning will permit **only** a Fitness and Recreation Centre, avoiding the possibility of higher-impact commercial uses, thereby providing regulatory certainty to the neighbourhood.
- **Scale and Massing:** The building maintains its low, single-storey profile, respecting the scale of the surrounding residential buildings.
- **Built Form Transition:** The most significant changes (additions) are concentrated on the **eastern portion of the site**, furthest from the residential properties to the south.

4.2 Transportation, Parking, and Access

- **Traffic Generation:** Traffic is expected to be lower than the former flea market, with demand spread throughout the day, minimizing peak congestion.
- **Parking Provision:** The site will provide adequate on-site parking for the proposed additions. 21 spaces, including 2 barrier-free parking spaces are included. This capacity will be sufficient to accommodate staggered member use.
- **Active Transportation:** Direct proximity to the Gananoque Trail System is a major mitigating factor, promoting active transportation and reducing reliance on vehicular trips

4.3 Environmental and Operational Mitigation

| Concern | Mitigation Measure |
|------------------------------|--|
| Waterfront Protection | The approx 56 meter setback from the Gananoque River and a dedicated stormwater management plan ensure compliance with Conservation Authority requirements. |
| Noise | All high-impact activities will occur within the fully enclosed, insulated building. All mechanical equipment will meet Municipal Noise By-law requirements. |
| Light Pollution | All exterior lighting will be full cut-off (down-lit) and fully shielded to prevent light spillage onto adjacent residential properties. |
| Hours of Operation | The site-specific zoning will cap daily hours of operation (e.g., 5:00 AM – 930 PM) to limit late-night traffic and activity in the residential area. |
| Landscaping | A 3-meter wide landscape buffer with evergreen and deciduous plants will be implemented along the southern property line to screen and provide transition to the residential neighborhood. |

5.0 Development Permit (Zoning)

| Provision Category | Requirement (single detached) | Requirements (Duplex) | Apartment | PROPOSAL |
|---|-------------------------------|-----------------------|-----------|-----------|
| 1. Lot Area (minimum) | 464 sq m | 557 sq m | 930 sq m | 2640 sq m |
| 2. Lot Coverage (maximum) | 35% | 35% | 35% | 24% |
| 3. Lot Frontage (minimum) | 15 metres | 18m | 24 m | 55.9m |
| 4. Front Yard Setback (minimum) | 6.0 m | 6 m | 6m | 0m |
| 5. Exterior Side Yard Setback (minimum) | 4.5 m | 4,5 m | 4.5m | 0m |

| | | | | |
|---------------------------------|--------|--------|------|--------|
| 6. Interior Side Yard (minimum) | 1.2 m | 1.2m | 1.2m | 20.1 m |
| 7. Rear Yard Depth (minimum) | 7.5 m | 7.5m | 6.5m | 56m |
| 8. Building Height (maximum) | 11.0 m | 11.0 m | 20 m | 9.6m |

Site Planning and Justification for Zoning Amendments

The proposed Gan Fitness redevelopment is being handled in a technically sound manner that respects the site's history while significantly improving its overall aesthetic and functionality. Crucially, the following three zoning amendments are **technical in nature** and are required primarily to recognize the existing footprint of the building and the current condition of the site.

1. Minimum Setback Amendments (Front and Interior Side Yards)

| Amendment Request | Required Setback (Residential) | Existing Condition | Justification and Proposal |
|-------------------|--------------------------------|--------------------|----------------------------|
| | | | |

| | | | |
|--|--------------|------------|---|
| Front Yard Setback (River Street) | 6m | 0 m | The amendment recognizes the existing 0-metre setback of the current building. It allows for a small addition to the front of the building to establish a proper, accessible new entrance . This is a technical amendment to permit the building's continued use and necessary accessibility improvements. |
| Interior Side Yard Setback (North Lot Line) | 1.2 m | 0 m | The amendment recognizes the existing 0-metre setback from the north lot line. It will allow for a necessary addition to the rear of the building (away from River Street) for improved operational space. This is a technical amendment to allow the building's continued location and functional expansion. |
| | | | |

2. Landscaped Open Space Reduction Justification

The proposed design uses significantly **less coverage** than the zoning maximum, ensuring the facility remains low-density with ample space for parking, buffering, and landscaping, thereby preventing the site from appearing crowded or overbuilt. It is requested to recognize the existing condition of the site, where a portion of the front yard along River Street and the eastern area (near the Gananoque River) is **currently gravelled**, rather than landscaped open space.

- Recognition of Existing Condition: This amendment is purely to recognize the existing gravelled condition of the site. It does not permit the expansion of any existing non-landscaped area, nor does it require the removal of any existing vegetation, as none is currently present.
- Stormwater Management: The accompanying Stormwater Management Report confirms that the implementation of recommended measures, including the installation of a French drain in the eastern portion of the site, will ensure stormwater flows are maintained to pre-development levels. This negates any potential adverse effects of the gravelled area on runoff.
- Aesthetic Impact: The front yard extending toward the Gananoque River is located to

the rear of the existing commercial building, meaning impacts on neighborhood character are not anticipated.

3. Proposed Site Improvements (Net Benefit)

The redevelopment incorporates significant improvements that result in a net benefit to the streetscape and the residential neighborhood:

- **Net Increase in Landscaping:** A 3-metre wide landscape strip is proposed along the south lot line, resulting in a net increase in landscaped open space on the overall site.
- **Enhanced Streetscape:** Six 50 mm caliper maple trees are proposed for planting—two along the River Street frontage and four along the north property line adjacent to the Waterfront Trail—to ensure an attractive and green streetscape.
- **Parking Provision:** 21 on-site parking spaces are proposed, including two barrier-free spaces, which will be appropriately located east of the proposed addition.
- **Pedestrian Safety:** A concrete pedestrian walkway is proposed along the south side of the building, providing a separated, safe path of travel from the accessible parking area to the main entrance.

6.0 Conclusion

Summary of Justification

This Planning Rationale has demonstrated conclusively that the application for a site-specific discretionary use for the Community-Oriented, Fitness and Recreation Centre at 145 River Street represents an ideal planning solution for the Town of Gananoque.

The proposal achieves full conformity with the Town's Official Plan objectives for health, efficiency, and community well-being, all while respecting the Committee's direction to maintain the underlying Residential Zoning fabric. The comprehensive compatibility controls—including the commitment to 24% lot coverage (well below the 35% maximum), the provision of 21 on-site parking spaces, and the proposed net increase in landscaping—ensure the use will be low-impact and seamlessly integrated into the neighborhood.

By adaptively reusing a functionally-obsolete commercial building, Gan Fitness will:

- Function as a vital Community Health Hub, not a generic commercial gym, offering specialized, inclusive programs for seniors, youth, and developmental service groups.
- Support municipal sustainability goals by promoting walkability and active transportation through its interior location.
- Deliver lasting economic, health, and social benefits to the Town, filling the void left by past recreational facility closures and ensuring local spending remains in Gananoque.

The proposed rezoning to allow a gym at 145 River Street represents a thoughtful, well-aligned, and community-enhancing use of the site. It meets all key planning criteria related to land-use compatibility, accessibility, efficient use of existing services, and direct support for community well-being. This project is a necessary and highly desirable investment in the social infrastructure of the neighborhood.

**GAN FITNESS
145 RIVER STREET
GANANOQUE, ON**

STORMWATER MANAGEMENT REPORT



**EASTERN ENGINEERING GROUP INC.
APEX BUILDING
100 STROWGER BLVD, SUITE 207
BROCKVILLE, ON
K6V 5J9**

MARCH 2025

| REVISION RECORD | | | | | |
|-----------------|-------------|-------------|--|--|--|
| REV | DESCRIPTION | PREPARED BY | | | |
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| 2 | | | | | |
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1.0 PROJECT BACKGROUND

The project involves a new addition to the existing building at 145 River Street and revision to the site with additional gravel parking area. The building expansion is 210 m² at the rear of the building and a new entry addition of 31 m². The gravel parking area increased is 1278 m².

The report is a summary of data, calculations, design and support documentation required for the stormwater management of the site.

2.0 LOCATION

The property is located at current 145 River Street, Gananoque.

3.0 SERVICING

The existing building is serviced via municipal sanitary and water from the adjacent streets. There will be no increase or change in servicing for the building. The existing water is a 150mm dia service to the property for fire protection.

The existing sanitary location could not be confirmed but there is an existing service to the building draining by gravity to the Town infrastructure.

4.0 DRINKING WATER SOURCE PROTECTION

As per Cataraqui Region Conservation Authority, portions of the site are in an area identified as a significant groundwater recharge area (SGRA) and Highly Vulnerable Aquifer (HVA). As mandated by the Clean Water Act (2006), the Source Protection Plan identifies significant activities that are considered to be drinking water threats.

A review of the proposed use of the site confirms that the activities planned on the site will not be a threat or risk to the groundwater. There will be no chemical handling or storage of any

items listed in the Cataraqui Source Protection Plan. The proposed use of the site is a fitness centre.

5.0 EXISTING CONDITIONS

The area being redeveloped currently does not have any stormwater management facilities in place. The existing parking lot drains easterly towards the Gananoque River on the site. There is no controlled outlet currently.

The intent of the stormwater management plan presented herein is to mitigate any negative impact that the proposed development will have on the Town sewer system and neighbouring properties.

6.0 SEDIMENT AND EROSION CONTROL PLAN

To control sediment and erosion during construction the following shall be adhered to:

1. Before proceeding with any area grading the silt fence must be constructed where indicated.
2. Silt control fence shall be installed where shown and maintained until the completion of the landscaping.
3. Catchbasin silt traps are to be installed at all catchbasins off site where runoff can drain.
4. Accumulated silt to be removed off site prior to removal of the silt control fence.
5. Contractor to clean adjacent roads on a regular basis to the satisfaction of the Town.
6. The silt fence must be inspected weekly and immediately after rainfall events for rips or tears, broken stakes, blow outs (structural failure) and accumulation of sediment. The silt fence must be fixed and/or replaced immediately when damaged. Sediment must be removed from silt fence when accumulation reaches 50% of the height of the fence.
7. Upon completion of landscaping all sediment and erosion control measures shall be removed.
8. No construction activity or machinery shall be beyond the silt fence.
9. All earth or topsoil stockpiles shall be surrounded with a sediment control fence.

The Contractor shall be responsible for monitoring and maintaining the sediment and erosion control facilities until re-vegetation is complete.

The Sediment and Erosion Control Plan shall be considered a 'living document' that may need to be changed or adjusted during the life of the project to be effective.

7.0 PROPOSED STORMWATER MANAGEMENT DESIGN

The stormwater management for the new commercial development and parking area will be done via grading and use of low impact development to contain and treat stormwater runoff before leaving the site.

The intent of stormwater management is to limit the Post-development drainage runoff to the 5 year Pre-development conditions. The existing site has no stormwater management in place with no storm sewers. The proposed works will contain all runoff on the parking area.

The proposed SWM facilities are shown on the C1. Storage will be provided on site for the 2 through 5 year events, using infiltration trench and surface.

8.0 QUALITY- BEST MANAGEMENT PRACTICES

The site is less than 2 ha, using the Stormwater design manual, Section 4.1.1, and will be treated as a smaller developed area and recommend Lot Level and Conveyance Controls should be allowed for the site.

The flow from the site will follow natural drainage paths towards the east and Gananoque River. To help with water quality, Best Management Practices and Low Impact Development strategies are addressed by the rural nature of the development which includes the following factors:

Infiltration

Designing water flow paths in a longer shape will help with the removal of sediment and keeping temperature of the water lower. The flow path from the parking area to the infiltration trench is a low sloped gravel area. The gravel will allow for infiltration.

Preserve areas of undisturbed soil and vegetation

Areas that can retain their natural soils and current conditions should be included in the planning. The area of undeveloped grass land will be preserved to accommodate all runoff from the site.

Lot level Controls

At the lot level, the effects of runoff reduction measures are enhanced by minimizing lot grades to promote natural infiltration. Due to the natural topography or relief of the site, the existing grading of the entire site will be maintained and thus allowing natural filtration and absorption to continue while maintaining base flows and reducing TSS levels.

Conveyance Control

The use of low gradient grassed areas where possible is one of the best conveyance controls available. The flat grades help to reduce flow velocities, reducing erosion potential. The grassed bottoms and side slopes act as a filter for any suspended particulate matter as well as promoting infiltration.

Treatment Method

The treatment method will be best management practices included a grassed flow area. This also acts as a large buffer strip between the developed land and all neighbouring properties.

Treatment Area

This area has been designed and grades so all new surfaces drain to the grass areas around the development. The parking area is graded to flow to the grass swales and infiltration areas. The intent of the design is to provide a normal level of protection as defined by the MOE Stormwater Management Planning and Design Manual, March 2003 for the area being developed into a storage area.

9.0 QUANTITY – PRE-DEVELOPMENT

The site will be considered a treed area prior to the parking lot expansion. The runoff coefficient for the existing areas are calculated using the areas and assumed C for the lands.

The C_{avg} for the 5 year Pre- are calculated as follows:

| Runoff Coefficient Calculation: | | | |
|---------------------------------|------|-----------|-----------|
| PRE DEVELOPMENT | | | |
| Surface | C | Area (m2) | Area (ha) |
| Gravel | 0.60 | 383.000 | 0.04 |
| Grass | 0.35 | 1863.100 | 0.19 |
| Asphalt/Concrete | 0.90 | 0.00 | 0.00 |
| Building | 0.90 | 393.61 | 0.04 |
| Pasture Lands | 0.28 | 0.00 | 0.00 |
| Average C = 0.468284016 | | SUM: | 0.26 |
| POST DEVELOPMENT | | | |
| Surface | C | Area (m2) | Area (ha) |
| Gravel | 0.60 | 1838.62 | 0.18 |
| Grass | 0.35 | 168.29 | 0.02 |
| Asphalt/Concrete | 0.90 | 0.00 | 0.00 |
| Building | 0.90 | 632.82 | 0.06 |
| Pasture Lands | 0.28 | 0.00 | 0.00 |
| Average C = 0.66 | | SUM: | 0.26 |

C_{pre} was calculated to be 0.47. C_{post} is 0.66

| Drainage Area for Qpre | | | | | |
|------------------------|-----------------|------|-----------|--------|---------------|
| Pre Runoff C = | 0.468284016 | | | | |
| Area = | 0.264 | ha | | | |
| | | | | | |
| 5 YEAR | | | | | |
| Time (min) | mm*ha/hr to L/s | C | I (mm/hr) | A (ha) | Q (L/s) |
| 5 | 2.78 | 0.47 | 155.10 | 0.264 | 53.299 |
| 10 | 2.78 | 0.47 | 95.50 | 0.264 | 32.818 |
| 15 | 2.78 | 0.47 | 71.90 | 0.264 | 24.708 |
| 20 | 2.78 | 0.47 | 58.63 | 0.264 | 20.147 |
| 25 | 2.78 | 0.47 | 50.16 | 0.264 | 17.238 |

The allowable flow from the full site based on the pre-development 5 year storm event is **24.708 L/s**.

The water quantity objective for the storage area is to not exceed the existing stormwater flows from this area. The flow is limited to the pre-development runoff rates. Please note that it is

widely recognized that the rationale method typically overestimates peak runoff flows and as a result is an extremely conservative prediction method. Any facilities that are sized using results from the rationale method are expected to function in “real world” conditions.

10.0 QUANTITY - POST DEVELOPMENT

The post development flows are calculated using Modified Rationale method for various times and rainfall intensities, to determine the stormwater storage requirements for each area.

10.1 Drainage Area 1

The post development runoff coefficient is 0.80 for 5 year event. The rainfall intensity is taken using tables from Town of Brockville site plan design manual.

| POST DEVELOPMENT | | | |
|------------------|------|-----------|-----------|
| Surface | C | Area (m2) | Area (ha) |
| Gravel | 0.60 | 1838.62 | 0.18 |
| Grass | 0.35 | 168.29 | 0.02 |
| Asphalt | 0.90 | 0.00 | 0.00 |
| Building | 0.90 | 632.82 | 0.06 |
| Pasture Lands | 0.28 | 0.00 | 0.00 |
| Average C = 0.66 | | SUM: | 0.26 |

The allowable release rate from Drainage Area 1 is 24.708 L/s (5 year).

| Drainage Area for Qpost | | | | | | | | |
|-------------------------|----------|-------|---------|--------|---------|-------------------|--------|-----------|
| Post Runoff | | | | | | | | |
| C = | | 0.66 | | | | | | |
| Area = | | 0.26 | | ha | | | | |
| | | | | | | | | |
| 5 YEAR | | | | | | Allowable Release | | |
| | mm*ha/hr | | I | | | Allowed | Net | Storage |
| Time (min) | to L/s | C | (mm/hr) | A (ha) | Q (L/s) | Discharge | Runoff | Reqd (m3) |
| 5 | 2.78 | 0.656 | 155.10 | 0.264 | 74.663 | 24.708 | 49.955 | 14.986 |
| 10 | 2.78 | 0.656 | 95.50 | 0.264 | 45.972 | 24.708 | 21.264 | 12.759 |
| 15 | 2.78 | 0.656 | 71.90 | 0.264 | 34.612 | 24.708 | 9.904 | 8.913 |
| 20 | 2.78 | 0.656 | 58.63 | 0.264 | 28.223 | 24.708 | 3.515 | 4.218 |
| 25 | 2.78 | 0.656 | 50.16 | 0.264 | 24.147 | 24.708 | -0.561 | -0.842 |
| 100 YEAR | | | | | | Allowable Release | | |
| | mm*ha/hr | | I | | | Allowed | Net | Storage |
| Time (min) | to L/s | C | (mm/hr) | A (ha) | Q (L/s) | Discharge | Runoff | Reqd (m3) |
| 5 | 2.78 | 0.656 | 259.00 | 0.264 | 124.679 | 24.708 | 99.971 | 29.991 |
| 10 | 2.78 | 0.656 | 159.50 | 0.264 | 76.781 | 24.708 | 52.073 | 31.244 |
| 15 | 2.78 | 0.656 | 120.20 | 0.264 | 57.862 | 24.708 | 33.154 | 29.839 |
| 20 | 2.78 | 0.656 | 97.65 | 0.264 | 47.008 | 24.708 | 22.300 | 26.760 |
| 25 | 2.78 | 0.656 | 83.55 | 0.264 | 40.219 | 24.708 | 15.511 | 23.266 |
| 30 | 2.78 | 0.656 | 74.00 | 0.264 | 35.622 | 24.708 | 10.914 | 19.646 |

Therefore, based on Modified Rationale Method, the storage requirement for Drainage Area 1 for 5 year storm event is 14.99 m³ and for the 100 year storm is 31.24 m³. The storage will be underground infiltration trench and on surface.

11.0 STORAGE PROVIDED

The stormwater storage requirements for the new development for the commercial building is 33 m³.

The site storage requirements are achieved with the use of an infiltration trench at the east end of the gravel areas.

12.0 WINTER OPERATION

During the winter months, snow will be stored in areas designated as snow storage area. If accumulation is above normal, snow will be removed from the site and parking lot. All catch basins and manholes will be monitored and kept free of snow and ice buildup to avoid any localized flooding on the site. The insulation effect of the snow will limit the depth of frost penetration such that when temperatures rise, moderate flow will occur in the bottom of the ditches and swales. Regular maintenance of the parking lot in spring to remove accumulated sand will be required.

16.0 MAINTENANCE

The owner will have maintenance staff review the site periodically during routine maintenance. The maintenance plans and forms must address the following:

- Inspection frequency
- Maintenance frequency
- Data collection/ storage requirements (i.e. during inspections)
- Detailed cleanout procedures (main element of the plans) including:
 - Equipment needs
 - Maintenance techniques
 - Occupational health and safety
 - Public safety
 - Environmental management considerations
 - Disposal requirements (of material removed)
 - Access issues

Prepared by:

Eastern Engineering Group Inc.

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Colin A. Jardine, P. Eng

March 19, 2025



File: 9027

November 19, 2025

Town of Gananoque
30 King Street East
Gananoque, Ontario
K7G 1E9

Re: Peer Review and CRCA comments
Gan Fitness Centre

Please find below our responses to the comments from the above submission:

Jewell Engineering Comments September 12, 2025

SWM Report Comments:

- 1) The site area is shown as 2,640m², of which 383m² is gravel, 1,863m² is grassed and 394m² is covered by buildings. Post-Development conditions will increase the gravel area to 1,839m², buildings to 633m² and reduce landscaped areas to 168m². Overall, the runoff coefficient is expected to increase from 0.47 to 0.66. The site plan drawings show proposed concrete sidewalk that does not appear to be included in the surface coverage calculations. This should be reviewed.
The areas have been updated with setback requirements by CRCA comments.
- 2) Report page 7? (pages are not numbered), section 10.1 states that the post-development runoff coefficient is 0.80 for the 5 year event. This is assumed to be a typo – the chart following that statement shows the calculation of 0.66.
Updated typo and numbered pages for clarity.
- 3) The water quality treatment Section 8.0 refers to lot level and conveyance controls, as well as BMPs and LIDs. This section introduces a list of measures that are stated to be addressed by the ‘rural nature of the development’. Many of the measures appear to be carry overs from another report. Please review the description of each measure that is being used and make sure they apply. As an example, the conveyance control subsection promotes the ‘low gradient grassed areas’ as ‘one of the best conveyance controls available’ but the design does not appear to include any. For clarity, this describes the grassed bottoms and side slopes and their benefit as filters and for promotion of infiltration.
Report was updated. New sections added.
- 4) Water quality is intended to achieve Normal treatment levels. The measures referenced to achieve Normal are mostly not present. How will the site achieve Normal targets? If the site is relying on the north landscaped area – consider that the grading of this area shows that any flow from this area would drain northeast to the trail. It would not direct drainage to the French drain. A portion of the parking lot will drain to the landscaped area and not the French drain (see existing grade)

84.52m will drain to 84.19m. The 84.61m and 84.58m closer to the French drain will obstruct drainage to the French drain. If the site is relying on the south landscaped area – no part of the site will drain to it. Do not suggest that the gravel parking lot is the BMP that is relied on for quality control. What remains then is the French drain area that appears only to be sized for quantity controls.

Grading has been revised so all water on the parking area site is directed to the infiltration area. The north area is not part of the property and water is now directed away from the property line.

- 5) Section 10 calculates the storage requirements as 15m³ for the 5-yr and 31.4m³ for the 100-yr. Section 11 references the storage requirements as 33m³. This is assumed to mean ‘storage provided’
Report has been updated and typo fixed.
- 6) Section 12 describes how the site will perform in the winter. It references the catch basins, manholes, ditches and swales. None of these features are proposed.
Report has been updated.
- 7) Section 16 references the maintenance requirements. The section appears to offer no specific instruction on maintenance. Instead it appears to instruct the owner to develop a maintenance plan. Provide maintenance instruction for the French drain.
Maintenance procedures included in appendix.
- 8) Review the section numbering (sections 13 to 15?).
Corrected numbering.
- 9) Quantity storage is stated to be achieved using the infiltration trench. However, reliance on an infiltration trench requires that the designer also verify that the infiltration technology will empty within 48 to 72 hours. What soil conditions are present? What groundwater conditions? What is the depth to bedrock?
Infiltration trench acts as storage and infiltration. The volume is achieved for the 100 year storm event at 5 year release rate. It is expected that stormwater will infiltrate when possible and flow through the control subdrains in larger events to the Gananoque River.

Drawing Comments:

- 10) The existing conditions drawing appears to show the existing sidewalk area extends to the limits of the proposed building. The existing gravel area appears to cover significantly more of the site than is listed in the SWM report tables. Conversely, the coverage of the landscaped areas appears to be much less in existing conditions. The drawing also appears to show proposed features such as the “new landscaped area”, Proposed Landscaped / Mulch Area”, “gravel area” and grading. Please clearly display the actual existing conditions on the C0 dwg.
The Existing conditions plan has been updated.
- 11) The Site Plan drawing (C1) shows four proposed trees. Some of these appear to be proposed within the gravel area. Is this intended? The concrete sidewalk is all shown to be proposed. Please confirm how much sidewalk exists and how much will be added.
Trees have been relocated outside the gravel area. The existing sidewalk will be replaced with new addition and a new sidewalk.
- 12) The grading plan suggests that the grassed area in the front of the building likely drains toward River Street.

- The area is uncontrolled and not being changed. Existing conditions maintained.*
- 13) Similarly, the “proposed landscaped / mulch area” appears to drain to the trail – not to the “french drain” area.
- Modified grading to keep water on site.*
- 14) How does the current building drain? It appears the north half of the building drains offsite to the trail and would not stay within the property limits. This also affects the overall SWM calculations. Drainage from the roof over the new extension should be clearly explained and any instruction on roof drains should be noted on the drawings.
- Roof drains will be directed to the parking lot. Any new runoff from the addition will be sloped to the parking lot. Existing drainage on existing roof is not being modified. Building was constructed on the property line not allowing any modifications on Town property.*
- 15) The position of the existing building with respect to the property line is dimensioned on the site plan, except along the frontage of River Street. Here the existing building appears to encroach onto the ROW.
- Correct, existing conditions.*
- 16) Correct the BM elevation to 86.94m.
- Corrected typo*
- 17) Please identify the materials proposed for the ‘french drain’.
- Detail added to C2.*
- 18) Please provide a cross-section showing how the French drain will be constructed. The site plan indicates some double dashed lines extending from the French drain to the river. Are these piped outlets / sub drains? How will these be terminated at the river? What sediment and erosion controls will be proposed here?
- Added silt fence along east edge of construction. Details of drain added. Rip Rap with silt fabric wrapped.*
- 19) Will the landscape buffers be created with a certain depth of topsoil and seed? Or sod?
- Any modified areas outside the property will be reinstated with topsoil and seed.*
- 20) Will the existing fence in the north landscaped area be removed and replaced along the property line?
- Yes, fence will be left in place. Moved or relocated as necessary.*
- 21) Will the French drain be constructed inside or outside of the fenced area?
- French drain area relocated outside 10m setback. Will be constructed around the fence.*
- 22) There is a proposed elevation of 86.50m in the middle of the south entrance. It does not seem to fit with the surrounding existing grades. Please review.
- Grades updated.*
- 23) Show the proposed finished floors on the site plan drawing. Show the locations of the entrances. Show the sidewalk elevation at the entrances. What is the elevation difference between the sidewalks and the gravel?
- Sidewalk is flush with gravel. Grades added.*
- 24) Show proposed elevations around the extension. Existing grades are 84.96m to 85.20m in this area. Is a sidewalk required here for accessibility?
- Doors proposed added to drawing.*

1. Encroachment of material and grading is not permitted within/below the 83.3 m flood plain. The proposed “French Drain” will need to be revised so that it is entirely outside this elevation and no changes are made in the flood plain.
Please revise the drawings to demonstrate this.
Revised location of the infiltration French drain. Top of basin area is 85.00 and bottom is at 84.09m.
2. **Please confirm the distance from the French Drain area to the toe of the shoreline slope.** This feature and associated placement of material and grading will need to be at least 10 metres from the toe.
Moved outside the 10 metre setback and labelled setback.
3. Please confirm if existing trees and vegetation along the shoreline slope will be retained and what, if any, removals will occur.
Only works in the setback are the subdrains shown. No removal of vegetation is proposed.
4. As is standard, Cataraqui Conservation requests that drainage area maps be provided in the SWM Report for both predevelopment and post development conditions. **Please revise.**
The drainage area plans are added.
5. Cataraqui Conservation guidelines require quantity control be provided for the minor through regulatory return periods (2 year through 100 year), it hasn’t been demonstrated that control will be achieved up to the 100-year predevelopment allowable release rate. **Please revise.**
Quantity control done with use of subdrains.
6. On-site stormwater storage should be provided for the 5 through the 100-year events, it is not clear if this is the case. **Please address.**
On site quantity control with the use of French drain for the 100 year storm.
7. Please indicate on the plans and in the report where surface storage will occur.
Please revise.
Revised to remove surface storage.
8. In response to comment 1, above, if the storage capacity/function of the French Drain is reduced due to revisions to get it outside the flood plain, the designer will need to modify this area so that necessary capacity is still provided. **Please address.**
Storage is achieved.
9. Calculations should be provided within the report to prove the underground infiltration trench and surface storage will provide sufficient storage for up to the 100-year event. **Please revise.**
Dimensions added to report for calculations of storage volume. 75m² x 0.91m deep with 40% voids.
10. Please illustrate the location and type of erosion and sediment controls in the drawings.
Added silt fence to drawing
11. **Please indicate the location of snow storage for the site on the drawings.**
Snow storage added to plan.

Yours truly,

EASTERN ENGINEERING GROUP INC.

A handwritten signature in black ink, appearing to read 'C Jardine', written in a cursive style.

Colin Jardine, P. Eng.

